

Planning  
Committee



**GREATER CAMBRIDGE**  
**SHARED PLANNING**

# MAJOR APPLICATIONS

# 25/04039/FUL Kett House Site Location Plan



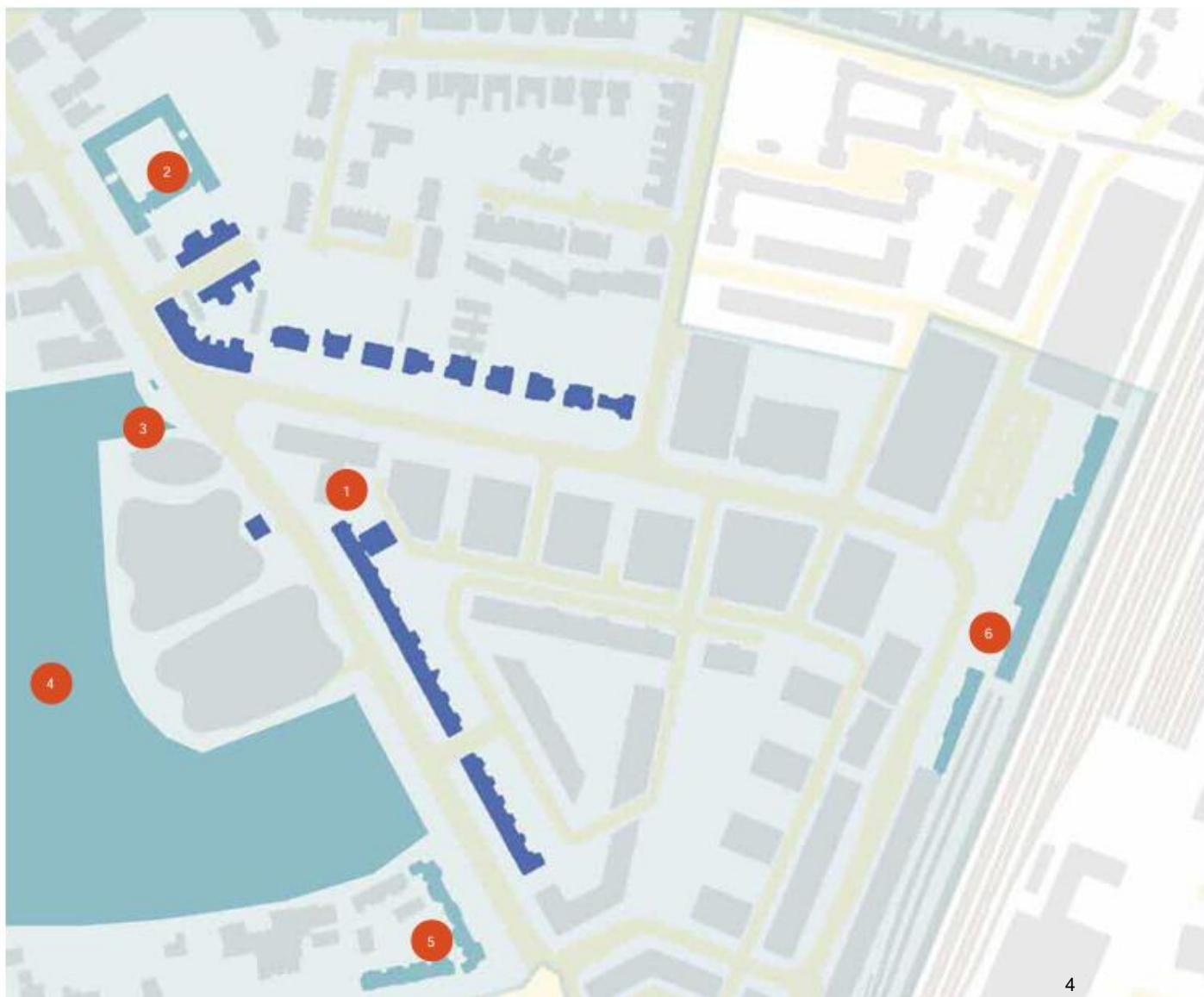
# Heritage Context

## 4.0 Site Context & Analysis

22

Heritage Assets & Buildings of Local Interest  
The site is located within a Conservation Area and is surrounded by a number of heritage assets and buildings of local interest.

- 1 Site
- 2 Highsett and from retaining wall, Grade II
- 3 War memorial, Grade II
- 4 Botanic Gardens, Grade II\*
- 5 Royal Albert Homes, Grade II
- 6 Cambridge Railway Station, Grade II



# Site Context

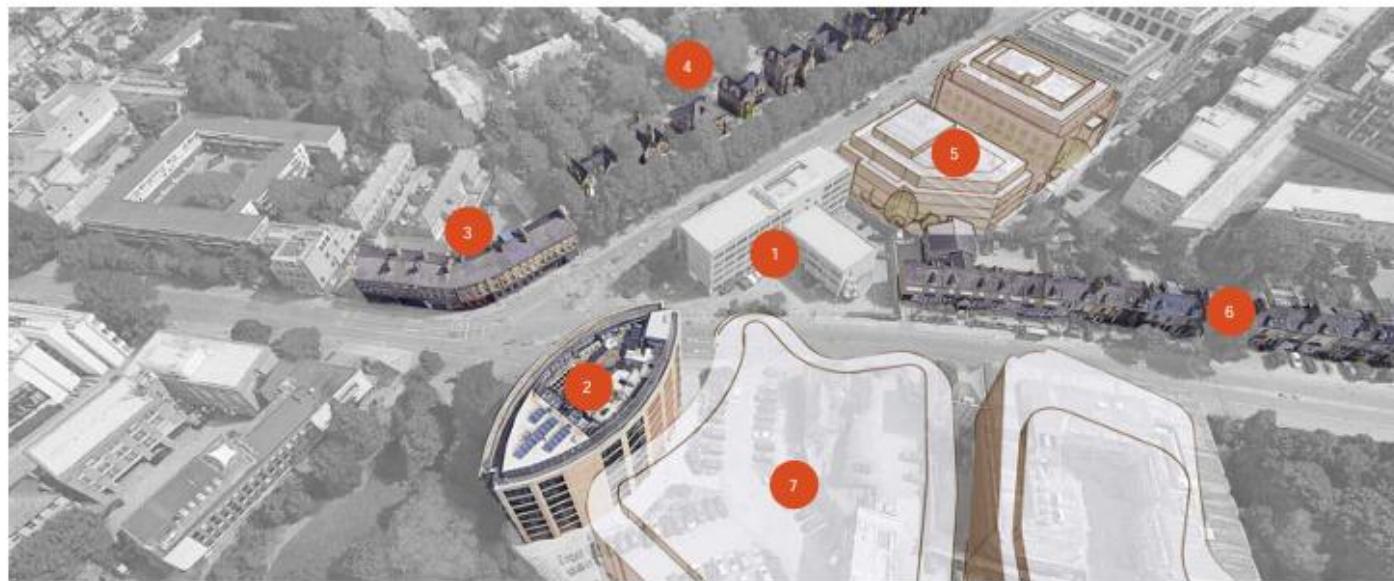
## 4.0 Site Context & Analysis

23

### Building Typologies

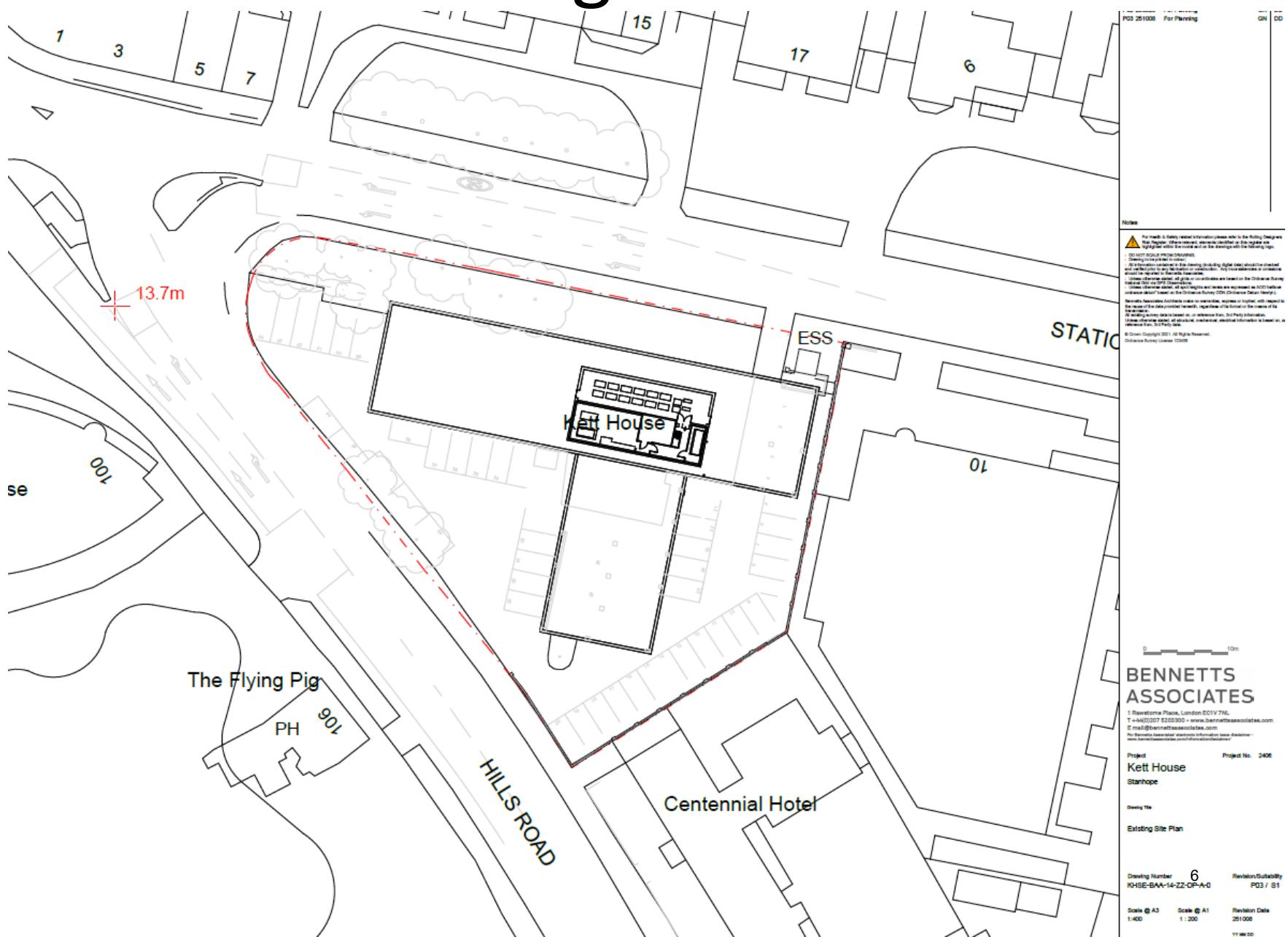
Location plan and accompanying images identifying the key building typologies of neighbouring buildings around the site.

- 1 Site, with Existing Building
- 2 Botanic House, local landmark
- 3 Nos 55-59 Hills Road with 1-7 Station Road (former Great Northern Hotel)\*
- 4 9-15 Arundel Villas, 17 St Andrews, 19-29 Salsbury Villas\*
- 5 Station Road Office Buildings, part of the CB1 development\*
- 6 Eastbourne Terrace and College Terrace, inc. Centennial Hotel\*
- 7 Botanic Place, recent major development

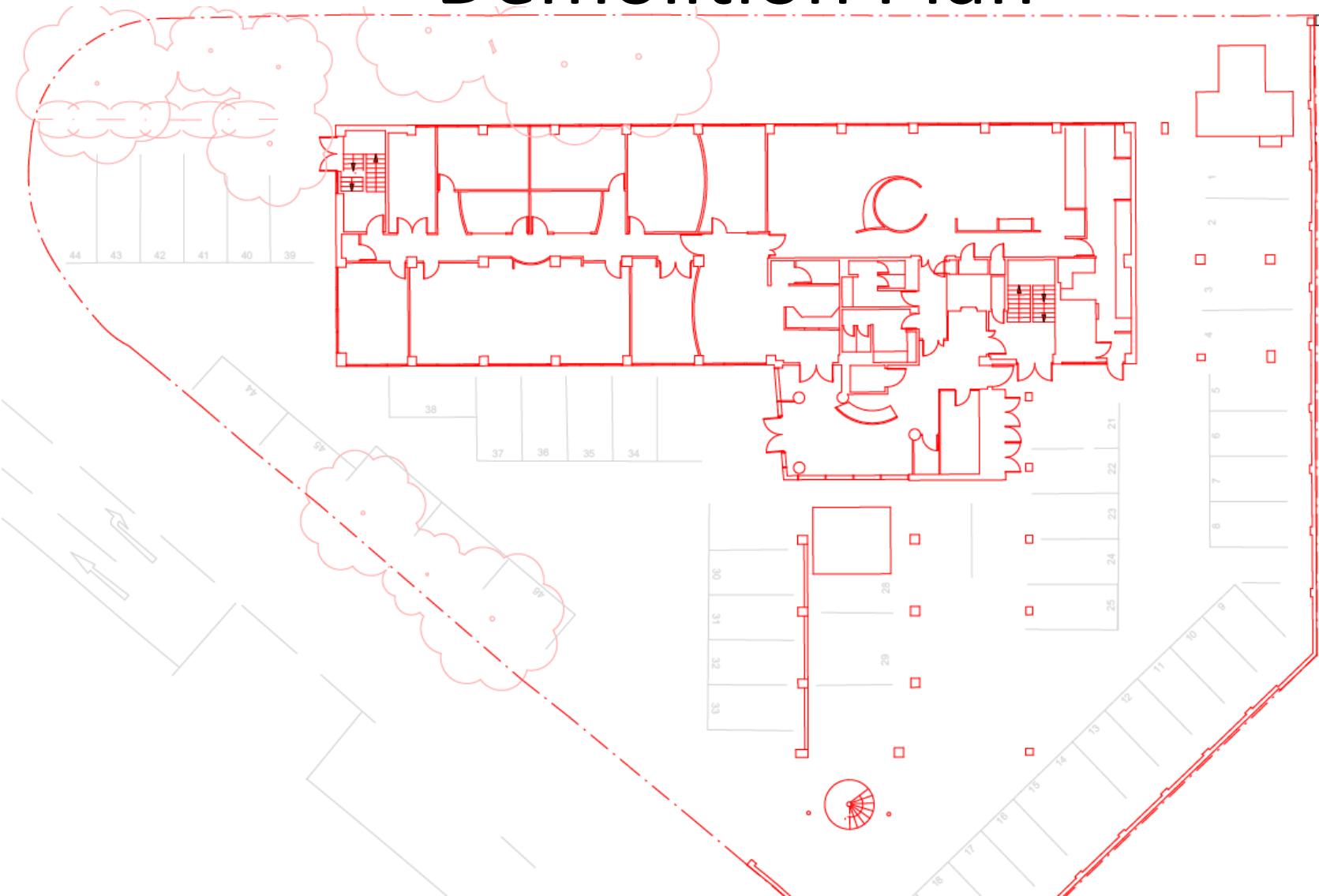


\*locally listed buildings

# Existing Site Plan



# Demolition Plan



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11. *What is the primary purpose of the following statement?*

For more information, contact the Office of the Vice President for Research and the Office of the Vice President for Student Affairs.

11. *What is the primary purpose of the following statement?*

Project  
**Kett House**  
Shephane

## Sample

### Concept 2B

### Summary

### Demolition Level (

1

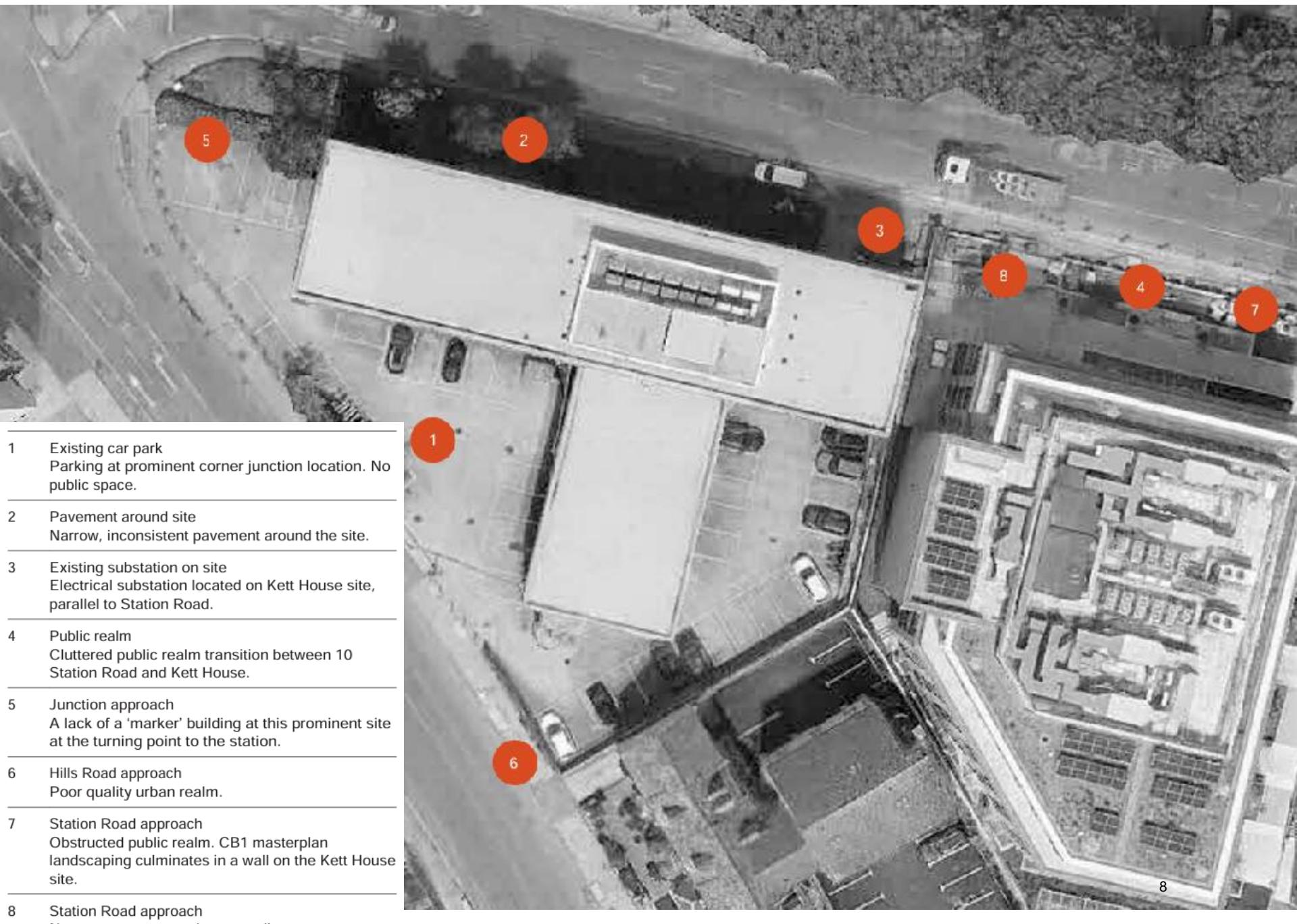
### Ground Floor) Plan

5m  
Drawing Number 7  
KHSE-BAA-124

Scale @ A3

1200

Project No. 2406  
Revision/Suitability  
P02 / 81  
Revision Date  
25/06/06



1 Existing car park  
Parking at prominent corner junction location. No public space.

2 Pavement around site  
Narrow, inconsistent pavement around the site.

3 Existing substation on site  
Electrical substation located on Kett House site, parallel to Station Road.

4 Public realm  
Cluttered public realm transition between 10 Station Road and Kett House.

5 Junction approach  
A lack of a 'marker' building at this prominent site at the turning point to the station.

6 Hills Road approach  
Poor quality urban realm.

7 Station Road approach  
Obstructed public realm. CB1 masterplan landscaping culminates in a wall on the Kett House site.

8 Station Road approach  
Narrow pavement and poor quality greenery.

# Kett House to be demolished



Existing Building  
Current condition

# Site Context

## 4.0 Site Context & Analysis

21



**01. Existing Car Park**  
Parking at prominent corner junction location. No public space.

**02. Pavement**  
Narrow, inconsistent pavement around the site.

**03. Existing Substation**  
Electrical substation located on Kett House site, parallel to Station Road.

**04. Public Realm**  
Cluttered public realm transition between 10 Station Road and Kett House.



**05. Junction Approach**  
A lack of a 'marker' building at this prominent site at the turning point to the station.

**06. Hills Road Approach**  
Poor quality urban realm.



**07. Station Road Approach**  
Obstructed public realm. CB1 masterplan landscaping culminates in a wall on the Kett House site.



**08. Station Road Approach**  
Narrow pavement and poor quality greenery.

# Design Evolution

## 8.0 Design Evolution

48



Prior Massing / Heights

Includes level 8 accommodation (Design Review Panel 1 scheme).



Revised Massing / Heights

All 10,000sqft of level 8 accommodation removed from the proposed scheme, with a carved terrace at level 7 enabling views to the sky from the key Botanic Place viewpoint.

# Indicative Proposed Scheme



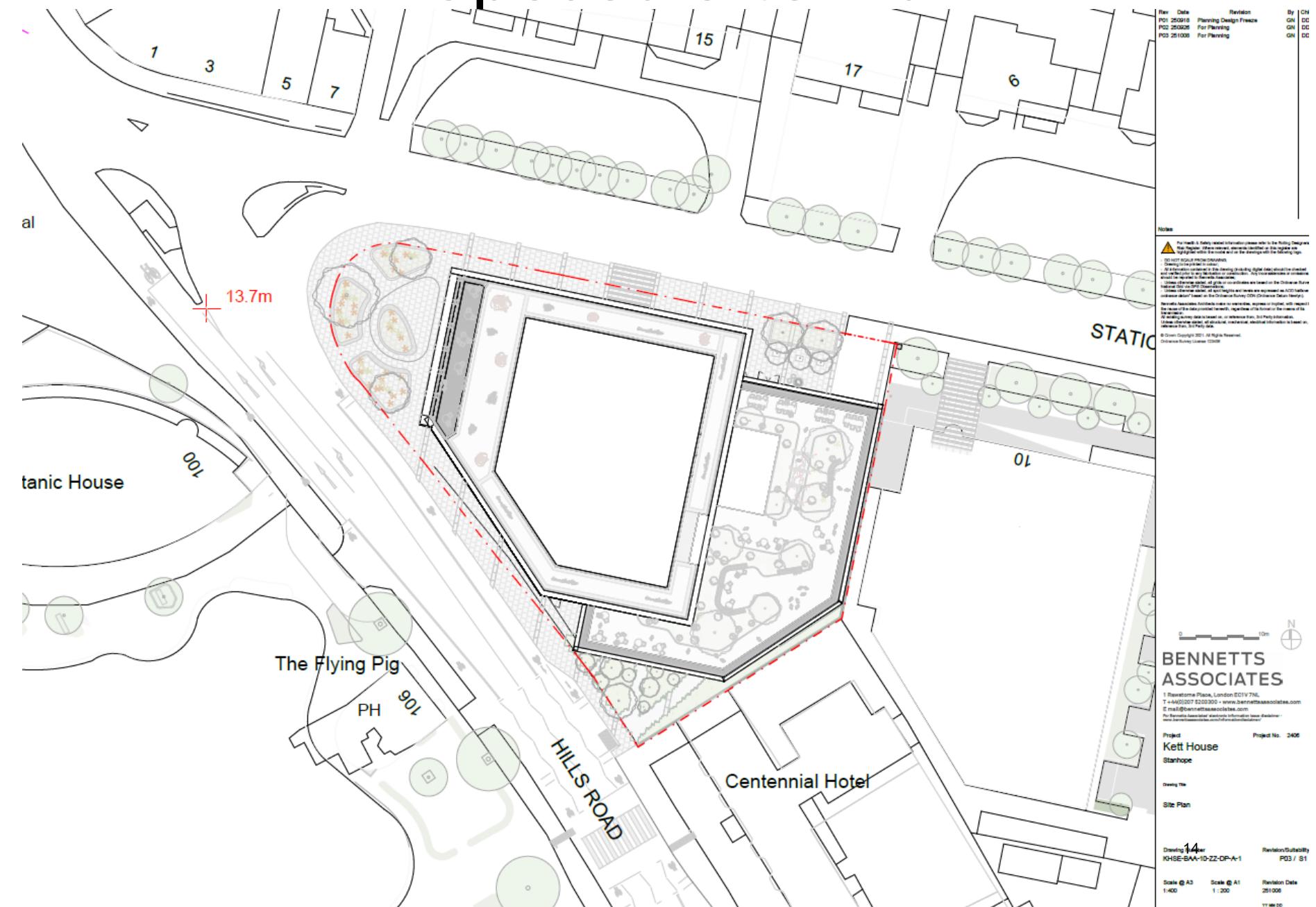
## Integration with wider strategic goals

The Kett House plot was not initially included in the CB1 masterplan; a large and successful regeneration scheme which has transformed the area between the train station and Hills Road. As such, the plot can be seen to represent the final piece of the masterplan in the Station Road area, after the completion of the CB1 scheme. Due to its prominent location at the intersection of Hills and Station Road, the plot offers a fantastic opportunity for the development of a genuinely sustainable building, utilising cutting edge low carbon construction methods to set a benchmark for sustainable construction in the city for the future, whilst retaining a clear link to the heritage of the site through its materiality. Resilient planting and water gardens have been proposed to ensure that this forward looking approach to climate change is evident through the landscape.

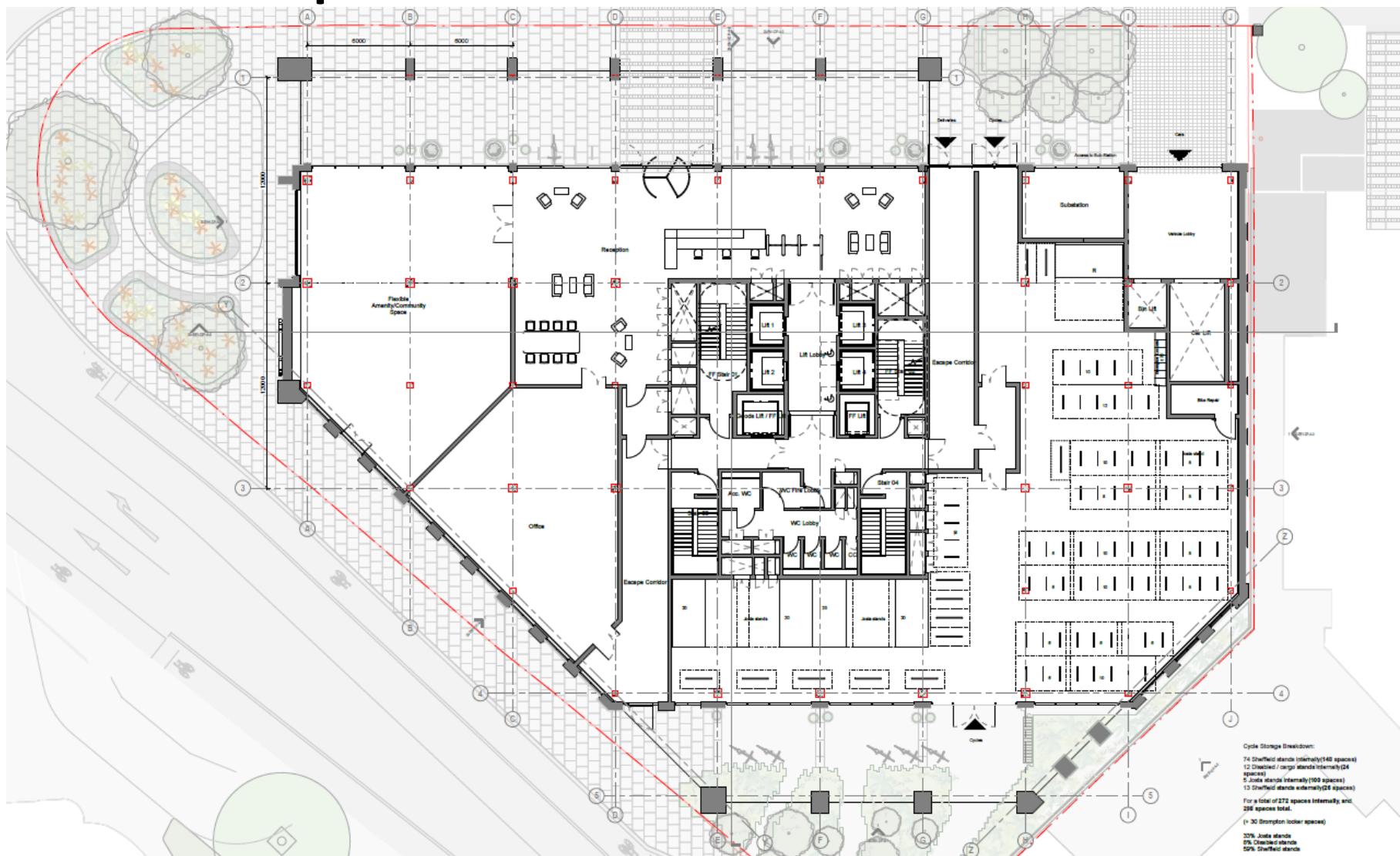
# Indicative Proposed Scheme



# Proposed Site Plan



# Proposed Ground Floor Plan



| Rev | Date     | Revision               |
|-----|----------|------------------------|
| P01 | 25/09/18 | Planning Design Freeze |
| P02 | 25/09/25 | For Planning           |
| P03 | 25/10/06 | For Planning           |
| P04 | 25/10/08 | For Planning           |

| Key | Ref    | Reason                 | By | CM | Role   |
|-----|--------|------------------------|----|----|--|
| P02 | 250018 | Planning Design Freeze | GN | DD | Any team that is fully involved in the process when the P02 is issued. |
| P02 | 250028 | For Planning           | GN | DD | When the P02 is issued, the team involved in the design freeze.        |
| P02 | 251006 | For Planning           | DD | RS | When the P02 is issued, the team involved in the design freeze.        |
| P04 | 251005 | For Planning           | GN | DD | When the P02 is issued, the team involved in the design freeze.        |

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Project:  
**Kett House**  
Stanhope

Drawing Title  
**General Arrangement**  
Level 00 (Ground) Floor Plan

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Project No. 2471

15

Revision/Suitability  
P04 / 91

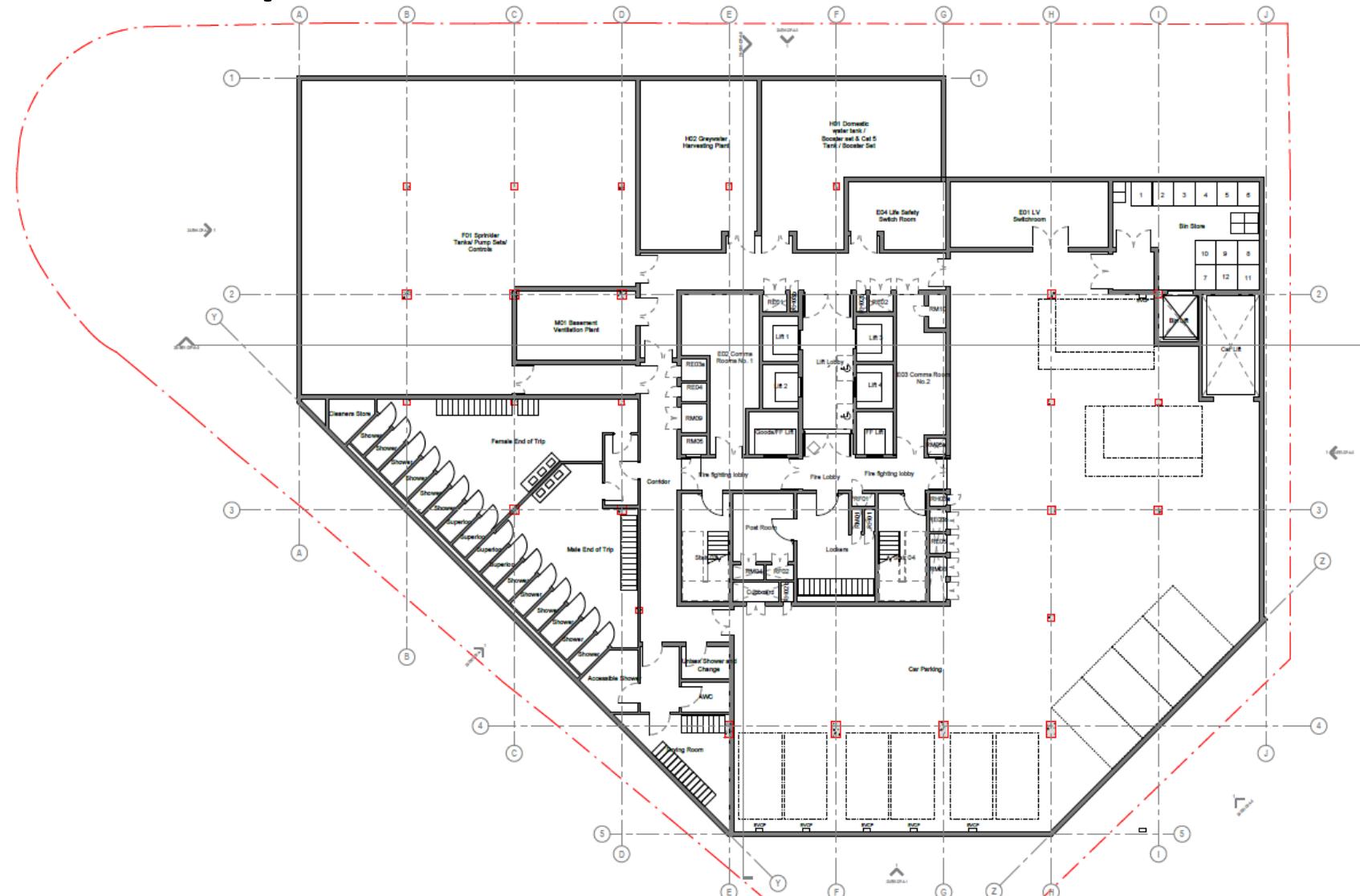
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KHSE-BAA-20H-00-DP-A-9

Revision/Suitability  
P04 / 91

Scale @ A3  
1:200

Revision Date  
25/10/06

# Proposed Basement Floor Plan



| Rev | Date     | Revision               |
|-----|----------|------------------------|
| 101 | 25/09/05 | Planning Design Freeze |
| 102 | 25/09/05 | For Planning           |
| 103 | 25/10/05 | For Planning           |

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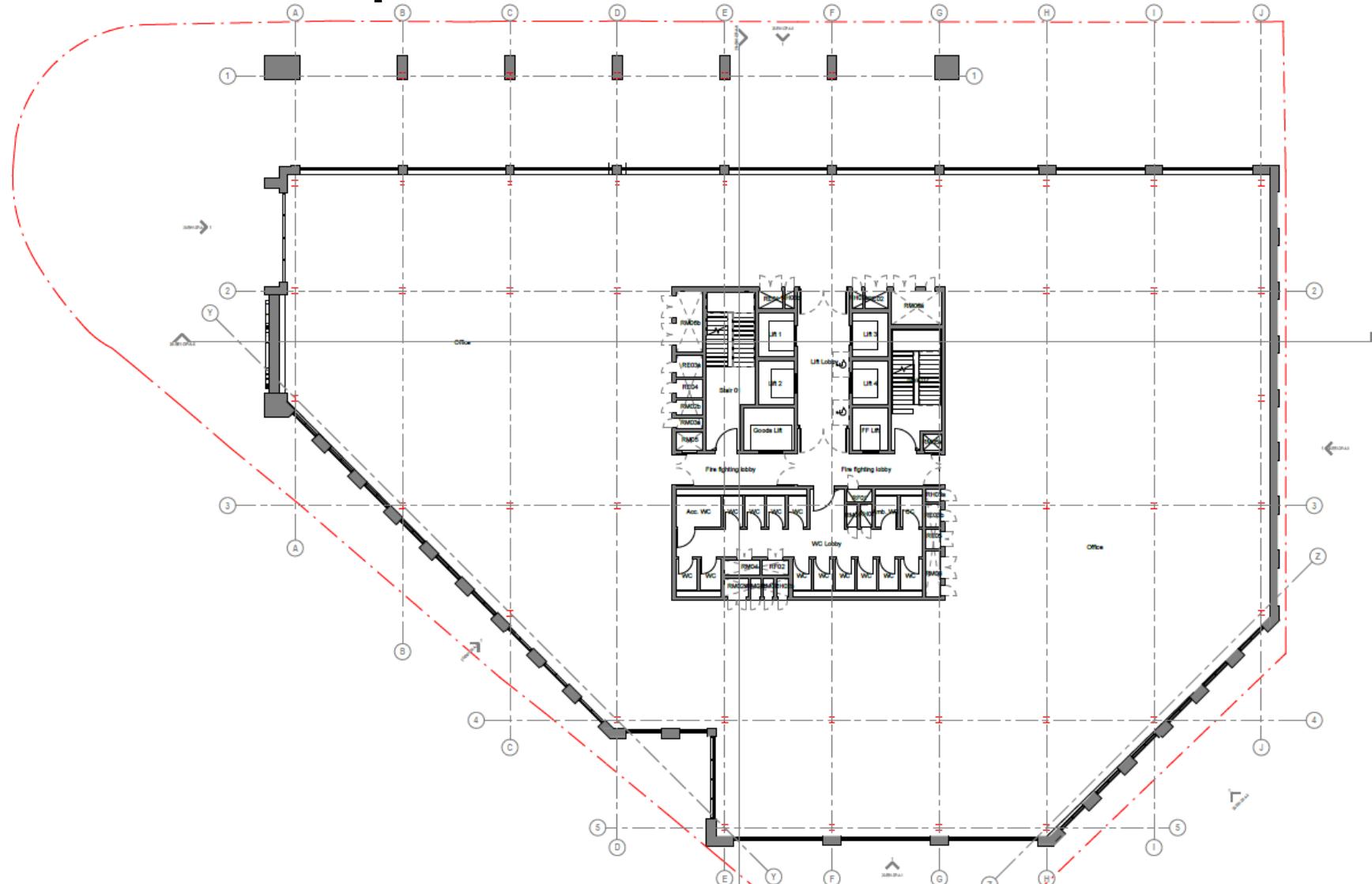
Project  
Kett House  
Stanhope

16  
Drawing Number  
KHSE-BAA-20-B1-OP-A

Project No. 2473

Scale @ A3      Scale @ A1      Revision Date  
1:200      1:100      25/10/06

# Proposed First Floor Plan



| Rev | Date     | Revision     | By            |
|-----|----------|--------------|---------------|
| 101 | 25/09/15 | Planning     | Design Freeze |
| 102 | 25/09/25 | For Planning | GN            |
| 103 | 25/10/08 | For Planning | GN            |

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## Project Kett House Stanhope

Drawing Title  
General Arrangement  
Level 01 - Floor Plan

5m

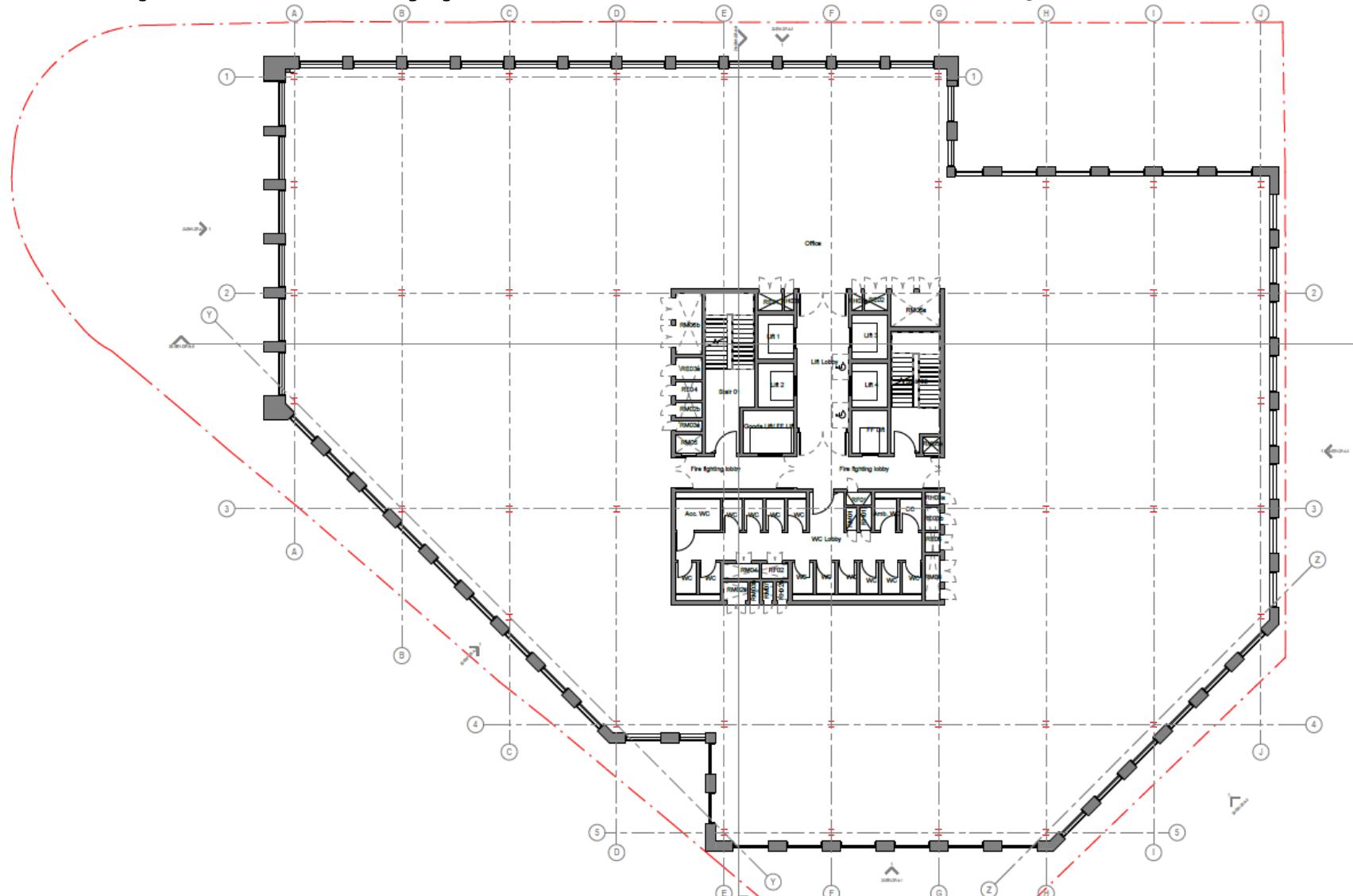
Drawing Number 17  
KHSE-BAA-20-L01-O

Project No. 2403

Revision Suitability  
P03 / 31

### Revision Date

# Proposed Typical Floor Plans (Floors 2-5)



| Rev | Date     | Revision               |
|-----|----------|------------------------|
| 101 | 25/09/15 | Planning Design Freeze |
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| 103 | 25/10/08 | For Planning           |

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Project  
Kett House  
Starhouse

Drawing Title  
**General Arrangement**  
Level 02 - Floor Plan

0 5m

Drawing Number 18  
KHSE-BAA-20-H02

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Project No. 2403

## Revision Availability

Page 81

### Revision Date

# Proposed Floor Level 6



| Rev | Date     | Revision               |
|-----|----------|------------------------|
| P01 | 25/09/15 | Planning Design Freeze |
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Project  
**Kett House**  
Stanhope

0 5m

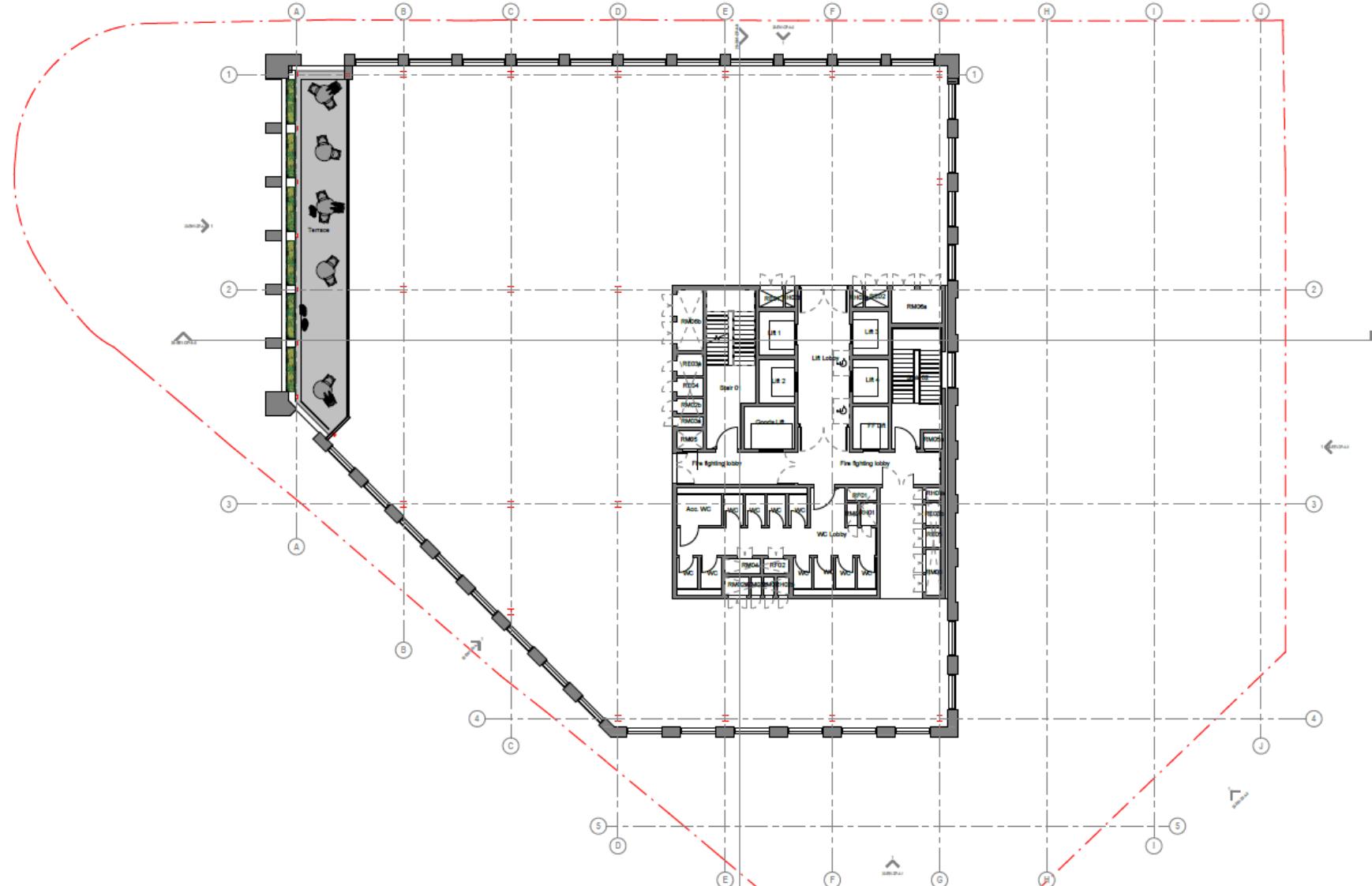
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Project No. 2408

Revision Guide

100

# Proposed Floor Level 7



Rev. Date Revision  
101 25/05/18 Planning Design Freeze  
102 25/05/25 For Planning  
103 25/10/08 For Planning

By CH  
GN DD  
GN DD  
GN DD  
GN DD  
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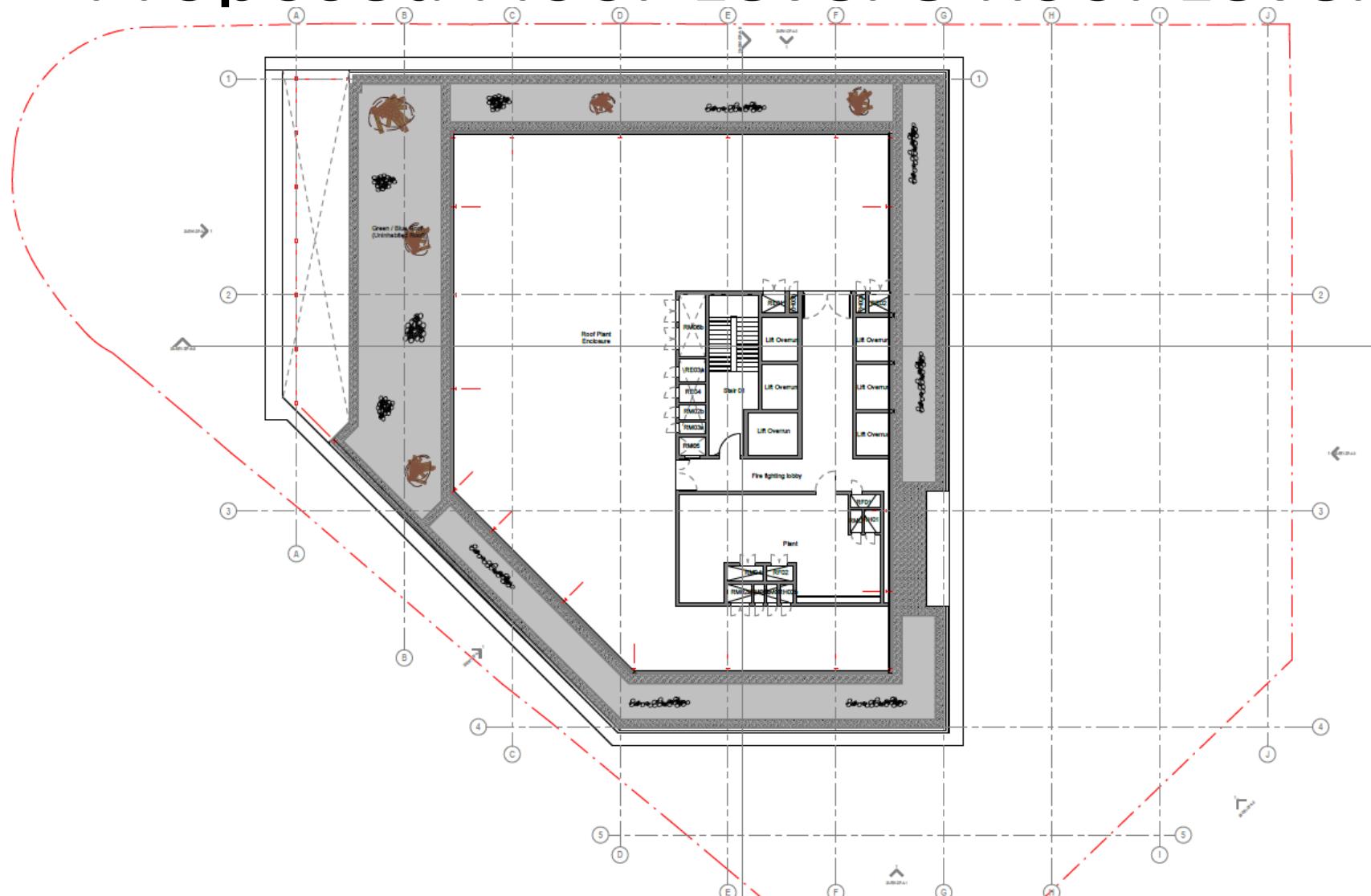
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Project  
Kett House  
Stanhope  
Drawing No.  
20  
KHS2-EAH-20-L07-DP-A-0  
Drawing Title  
General Arrangement  
Level 07 - Floor Plan

Scale @ A3  
1:200  
Scale @ A1  
1:100  
Revision Date  
26/08/08

Project No. 2406  
Drawing No.  
20  
KHS2-EAH-20-L07-DP-A-0  
Revision Subtitle  
PC3 / S1

# Proposed Floor Level 8 Roof Level



| Rev | Date     | Revision               | By | Chk |
|-----|----------|------------------------|----|-----|
| P01 | 25/09/16 | Planning Design Freeze | GN | DD  |
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| P03 | 25/10/06 | For Planning           | GN | DD  |

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Project  
**Kett House**  
Stanhope

21  
Drawing Number  
KHSE-BAA-2014-08-09

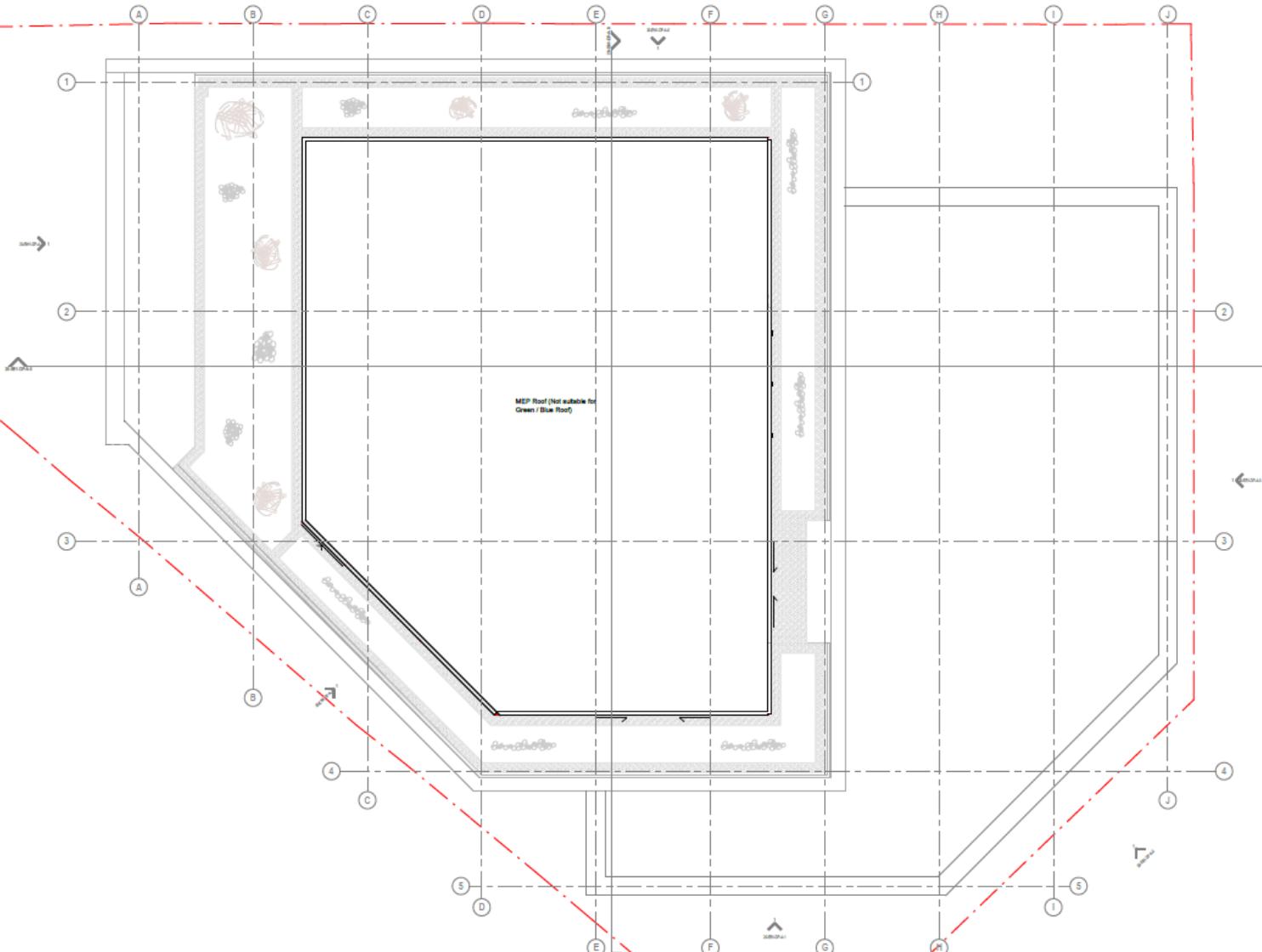
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Project No. 2403

P03 / 81

#### Revision Date

# Proposed Roof Plan



Rev 01 Date 25/09/18 Revision Planning Design Freeze  
By GN DO  
02 25/09/18 For Planning  
03 25/10/06 For Planning

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Project Kett House  
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 Drawing Ref. 22  
 General Arrangement  
 Level 03 - Roof Plan  
 Drawing No. 22  
 NHE-04A-20-L03-OP-A-0  
 Revision 03 / 51  
 Scale @ A3 1:200  
 Scale @ A1 1:100  
 Revision Date 26/10/06  
 Project No. 2406

Scale @ A3 1:200  
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 Revision Date 26/10/06



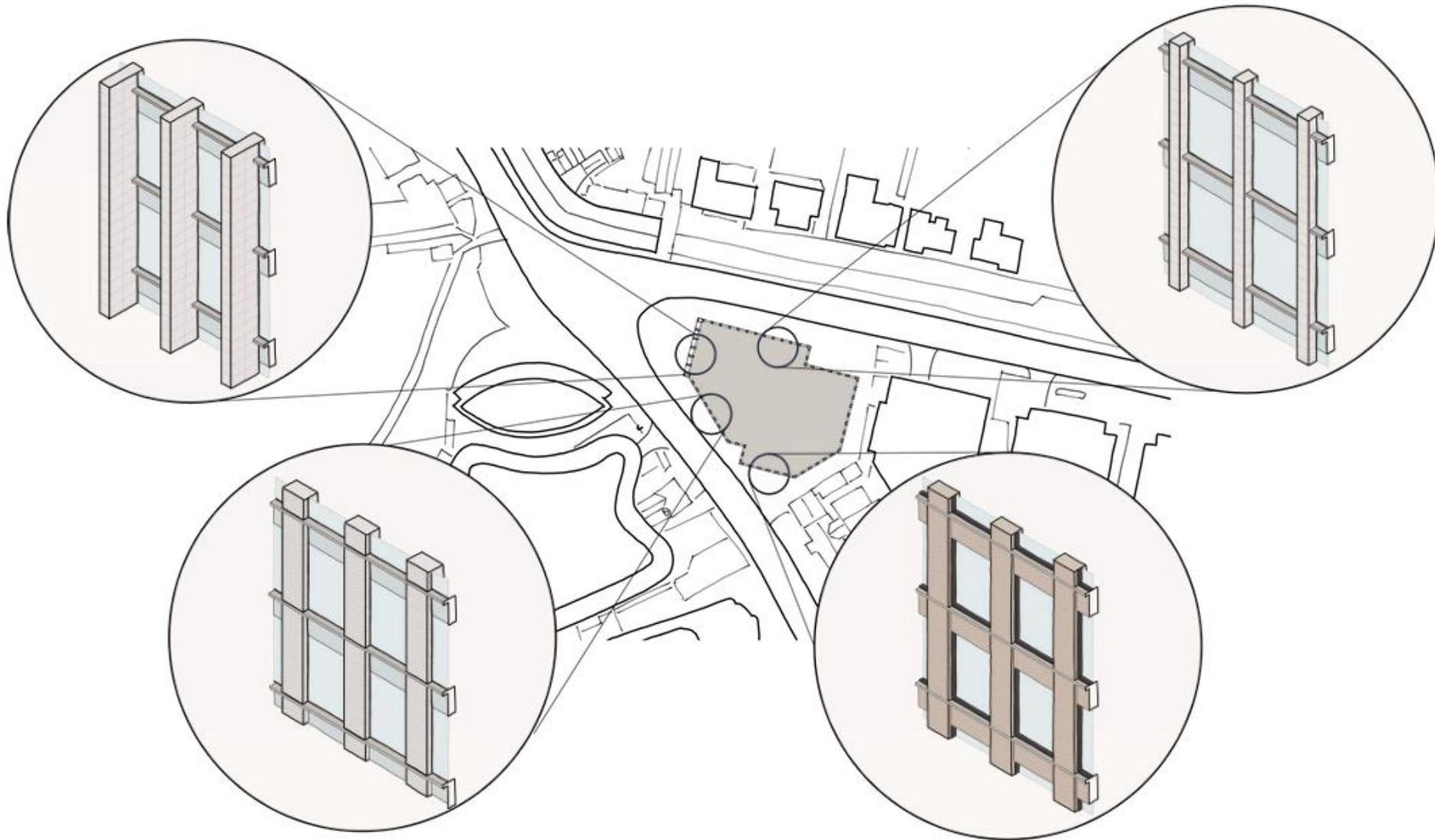
# Indicative Northern Elevation



# Design Evolution Glazing

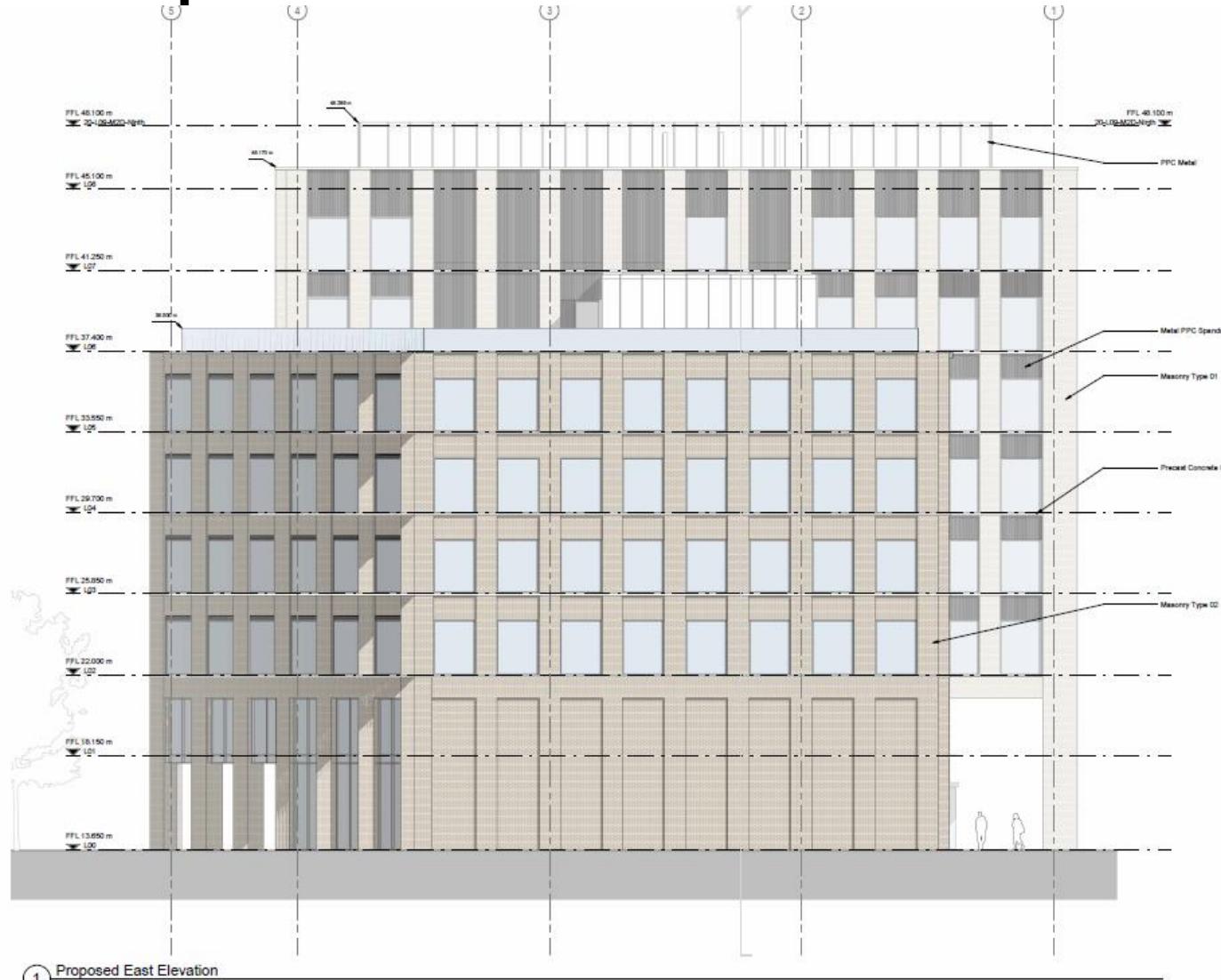
8.0 Design Evolution

54

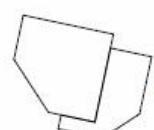


25

# Proposed Eastern Elevation



| Rev | Date     | Revision               |
|-----|----------|------------------------|
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| 02  | 25/09/05 | For Planning           |
| 03  | 25/10/05 | For Planning           |



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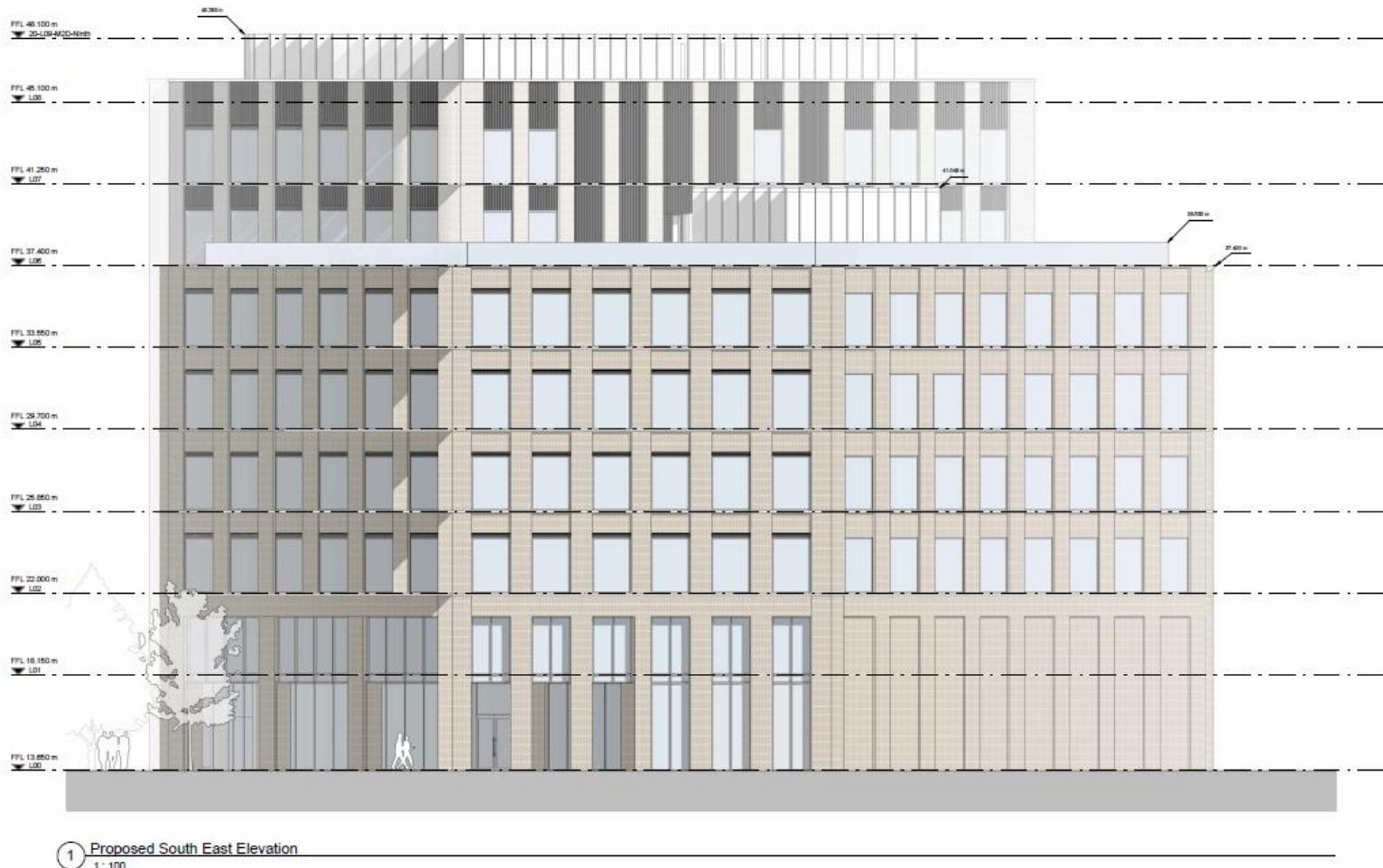
Project  
Kett House  
Stanhope

Drawing Title  
General Arrangement

26 *Ring Number*

Project No. 2406

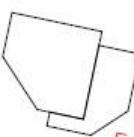
# Proposed South Eastern Elevation



## 1 Proposed South East Elevation

1 : 100

| Rev | Date   | Revision               |
|-----|--------|------------------------|
| P01 | 250915 | Planning Design Freeze |
| P02 | 260926 | For Planning           |
| P03 | 251006 | For Planning           |



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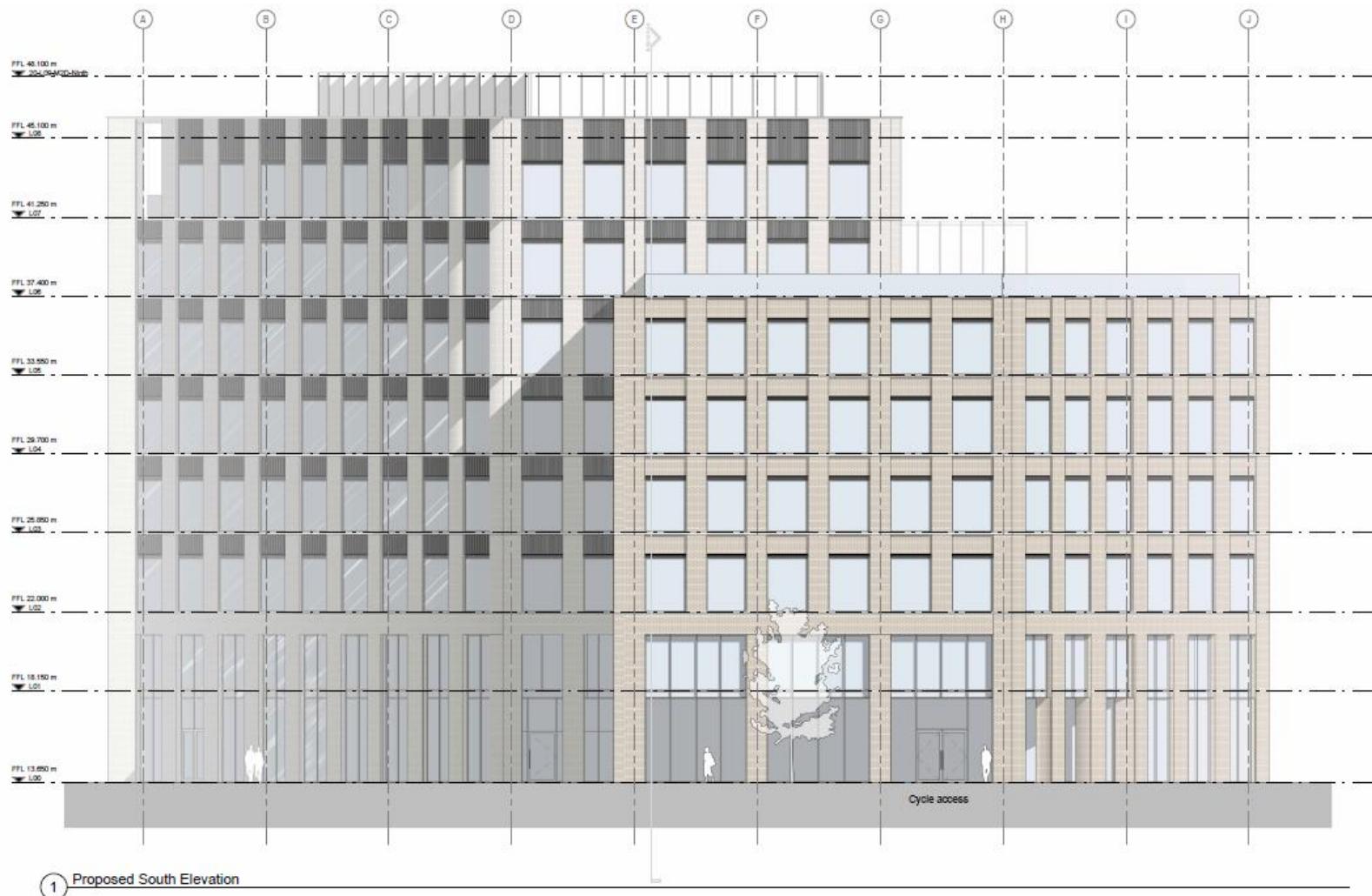
Project  
**Kett House**  
Stoppage

**Drawing Title**  
**General Arrangement**

27  
Quring Number  
KHSB-AAA-20-ES1-DP-A-0

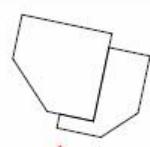
Scale @ A3      Scale @ A1      Revision Date  
1:2000      1 : 100      28/10/06

# Proposed Southern Elevation



Rev Date Revision  
P01 25/9/26 For Planning  
P02 25/10/06 For Planning

By Chk  
GN DD  
GN DD  
  
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Project  
Kett House  
Stanhope

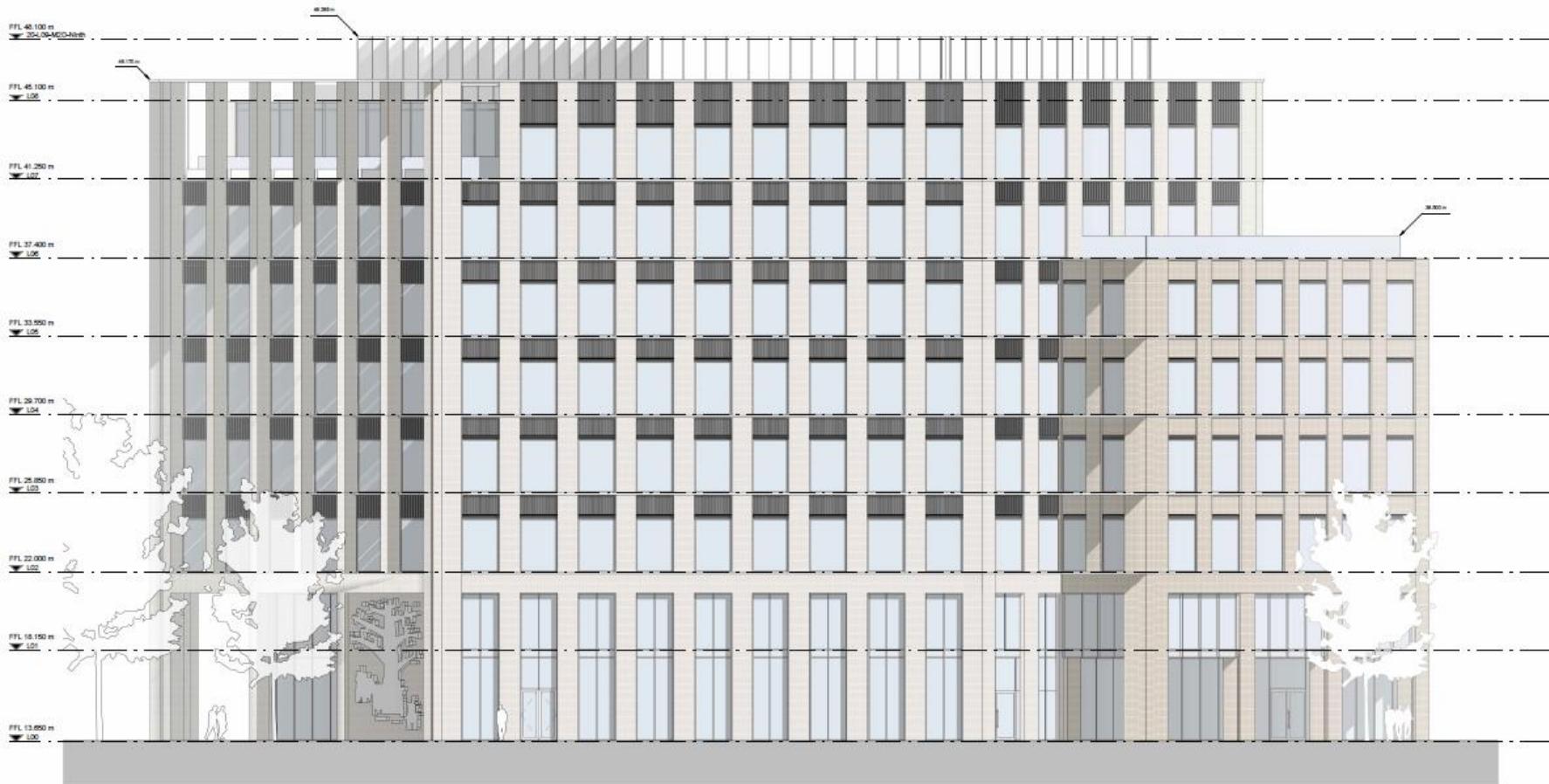
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General Arrangement  
Proposed South Elevation

28 Drawing Number  
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Revision Number  
P02/ 01/06

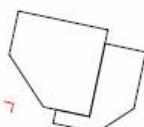
Project No. 2406  
Drawing Date  
25/10/06  
Revision Date  
25/10/06  
Scale  
1:100  
Revision  
P02/ 01/06  
Page  
28/28

# Proposed South Western Elevation



| W  | Date     | Revision     | By | On |
|----|----------|--------------|----|----|
| 01 | 25/02/26 | For Planning | By | CD |
| 02 | 25/02/08 | For Planning | By | CD |

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Project  
Kett House  
Stanhope

Drawing Title  
General Arrangement  
Proposed South West Elevation

29 Drawing Number  
NS-E-SAN-20-EWI-DPA-1

Scale @ A3  
1:100  
Revision Date  
25/02/08

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2008

Revision Number

P02 / S1

Revision Date

25/02/08

Scale

1:100

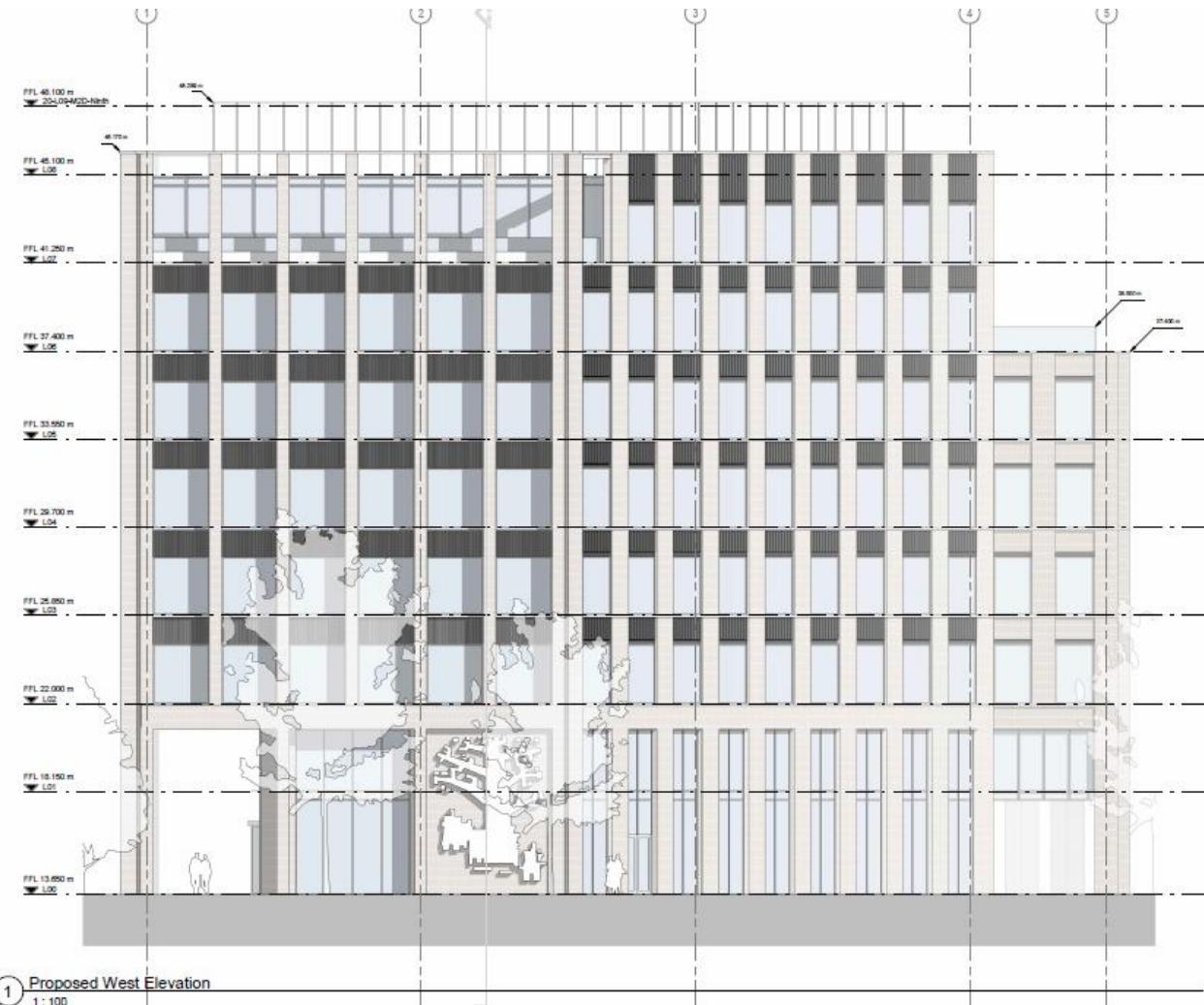
Revision Date

25/02/08

Scale

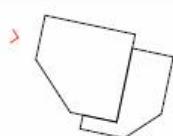
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# Proposed Western Elevation



| Ref | Date     | Revision               | By | Chk |
|-----|----------|------------------------|----|-----|
| 001 | 25/09/18 | Planning Design Freeze |    | GD  |
| 002 | 25/09/28 | For Planning           |    | GN  |
| 003 | 25/10/08 | For Planning           |    | GD  |

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 E [info@bennettsassociates.com](mailto:info@bennettsassociates.com)

**Project**  
**Kett House**  
 Stanhope

**Drawing Title**  
 General Arrangement  
 Proposed West Elevation

**Drawing Number**  
 KNS-EAH-20-EWI-OP-A-0

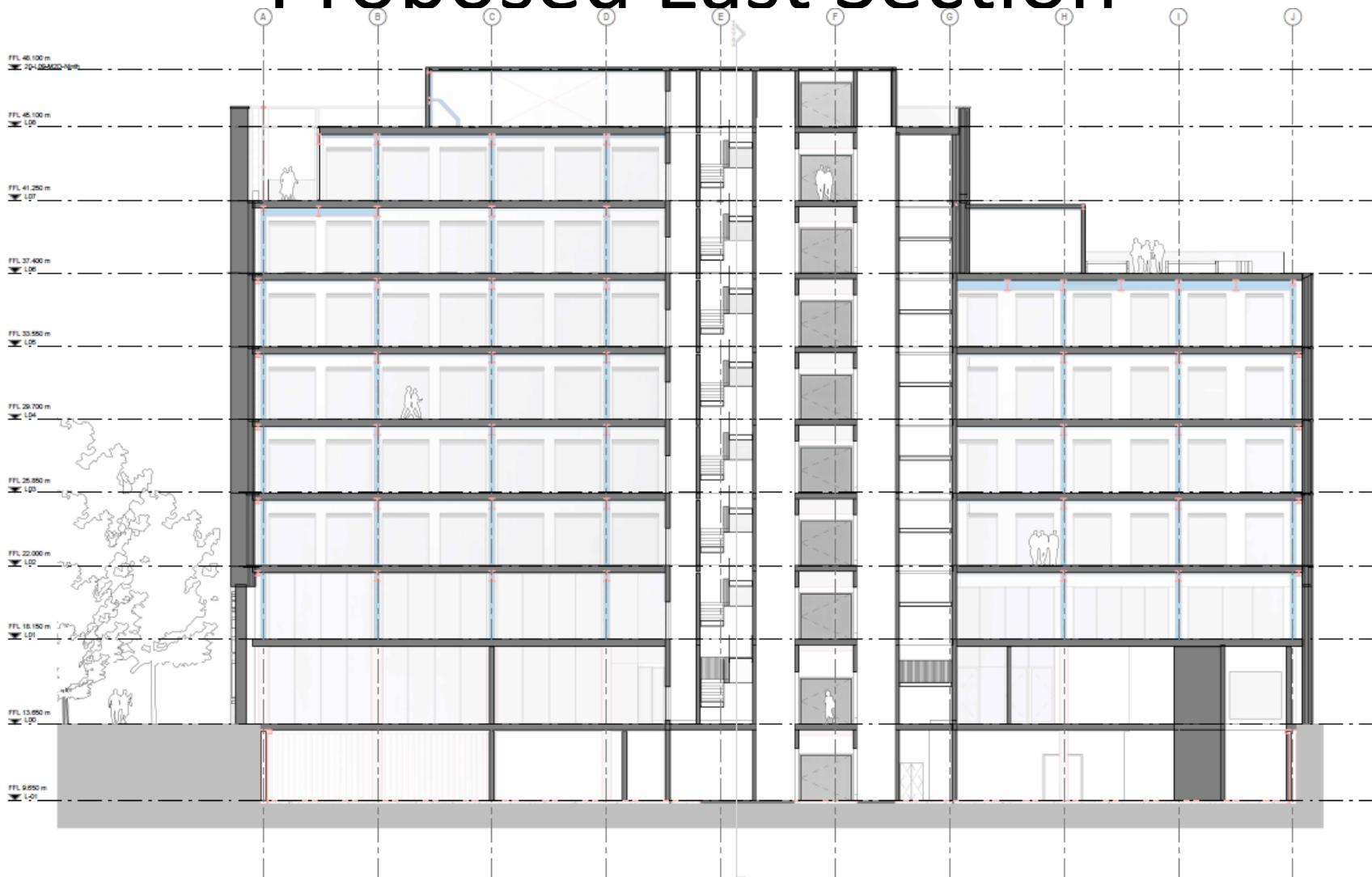
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**Project No.**  
 2406

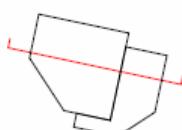
**Revision Number**  
 P03 / 81

**Revision Date**  
 25/10/08

# Proposed East Section



| Dev | Date     | Revision               |
|-----|----------|------------------------|
| 001 | 25/09/18 | Planning Design Freeze |
| 002 | 25/09/18 | For Planning           |
| 003 | 25/10/18 | For Planning           |



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Project  
**Kett Hous**  
Edu

**Drawing Title**  
**General Arrangement**  
**Proposed Easit Section**

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Project No. 2480

### Revision Suitability

Page 6

### Execution Data

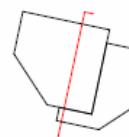
251008

YY MM DD

# Proposed North Section



| Rev | Date     | Revision               | By | Chk |
|-----|----------|------------------------|----|-----|
| 101 | 25/09/15 | Planning Design Freeze | GN | DD  |
| 102 | 25/09/26 | For Planning           | GN | DD  |
| 103 | 25/10/06 | For Planning           | GN | DD  |



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E [mail@bennettsassociates.com](mailto:mail@bennettsassociates.com)

Project  
Kett Hous  
Stanhope

Drawing Title  
General Arrangement  
Proposed North Section

---

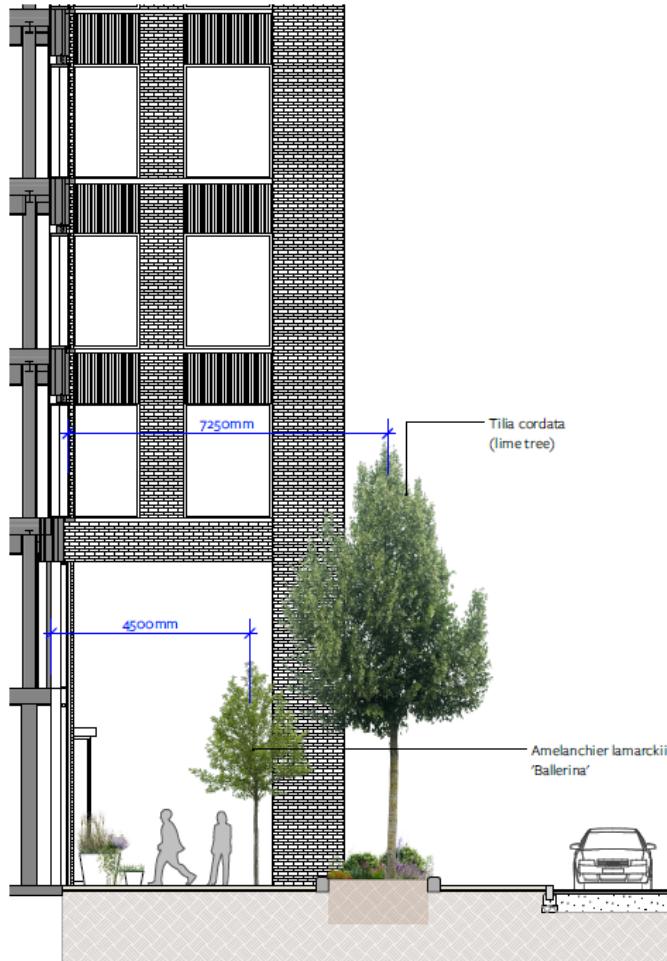


32  
Drawing Board  
KSE-RAA-20-SN1-OP-A-0

Revision Guittet 81 / 81

Scale @ A3      Scale @ A1      Revision Date  
1:200      1:100      25/10/06

# Proposed Station Road Section



S2 Station Road Section  
Scale 1:100 @ A3 @ XX

## NOTES

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 Any discrepancies or errors must be brought to the attention of Robert Myers Associates.  
 All structural elements are shown indicatively. For all elements of structure, refer to structural engineers' and specialist sub-contractors/fabricators' design, detail and specification.  
 The drawings are to be read in conjunction with all relevant landscape architect, consultant and specialist drawings.  
 This drawing is to be read specifically in conjunction with:  
 XXX-RMA-XX-XX-DR-L-XXXXXX

| P01  | 25.03.25 | First Issue             | TH        |
|------|----------|-------------------------|-----------|
| P02  | 29.04.25 | Updated dimensions      | SB        |
| P03  | 10.06.25 | Updated arrangement     | SB        |
| P04  | 07.08.25 | Updated arrangement     | HM        |
| P05  | 05.09.25 | Column planters removed | HM        |
| P06  | 24.09.25 | Label updates           | HM        |
| P07  | 29.09.25 | Building update         | HM        |
|      |          |                         |           |
| Rev: | Date:    | Description:            | Drawn by: |

## REVISIONS

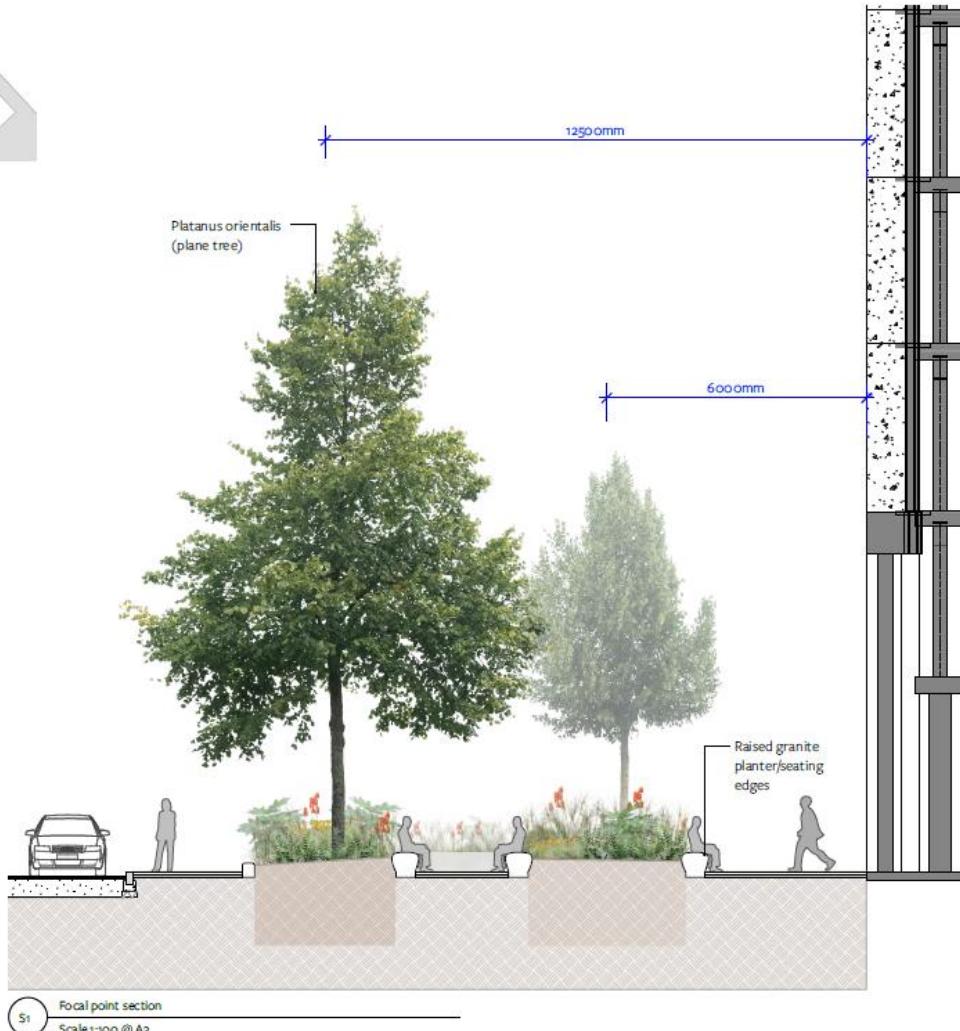
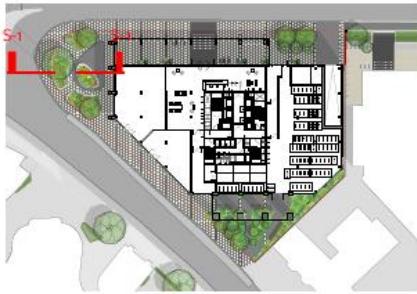
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|-----------------|----------------------------------|-----------------|--------|
| Status:         | <b>S2 - FOR INFORMATION</b>      |                 |        |
| Client:         | <b>Stanhope</b>                  |                 |        |
| Project Title:  | <b>Kett House</b>                |                 |        |
| Drawing:        | <b>Section 02</b>                |                 |        |
| Scale:          | 1:100 @ A3                       | Drawn By:       | TH     |
| Drawn Date:     | March 2025                       | RMA Project No: | 857.01 |
| Checked:        | PM                               | Checked:        | RM     |
| Drawing Number: | <b>KHSE-RMA-ZZ-ZZ-DR-L-04002</b> |                 |        |
| Status:         | <b>S2</b>                        |                 |        |
| Revision:       | <b>P07</b>                       |                 |        |

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# Station Road Colonnade



# Proposed Junction Section



## NOTES

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The drawings are to be read in conjunction with all relevant landscape architect, consultant and specialist drawings.

This drawing is to be read specifically in conjunction with: XXX-RMA-XX-XX-DR-L-XXXXXX

|      |          |                     |           |
|------|----------|---------------------|-----------|
| P01  | 25.03.25 | First Issue         | TH        |
| P02  | 29.04.25 | Updated dimensions  | SB        |
| P03  | 10.06.25 | Updated arrangement | SB        |
| P04  | 07.08.25 | Updated arrangement | HM        |
| P05  | 05.09.25 | Kerb line change    | HM        |
| P06  | 24.09.25 | Label updates       | HM        |
| P07  | 29.09.25 | Building update     | HM        |
| Rev: | Date:    | Description:        | Drawn by: |

## REVISIONS

Status: **S2 - FOR INFORMATION**

Client: **Stanhope**

Project Title: **Kett House**

Drawing: **Section 01**

Scale: 1:100 @ A3 Drawn By: TH

Drawn Date: March 2025 RMA Project No: 857\_01

Checked: PM Checked: RM

Drawing Number: **KHSE-RMA-ZZ-ZZ-DR-L-04001**

Status: **S2**

Revision: **P07**

Robert Myers Associates   
LANDSCAPE ARCHITECTURE

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www.robertmyers-associates.co.uk

Ref: 35

# Spot heights along Station south section



# Sustainability

## Sustainability Targets

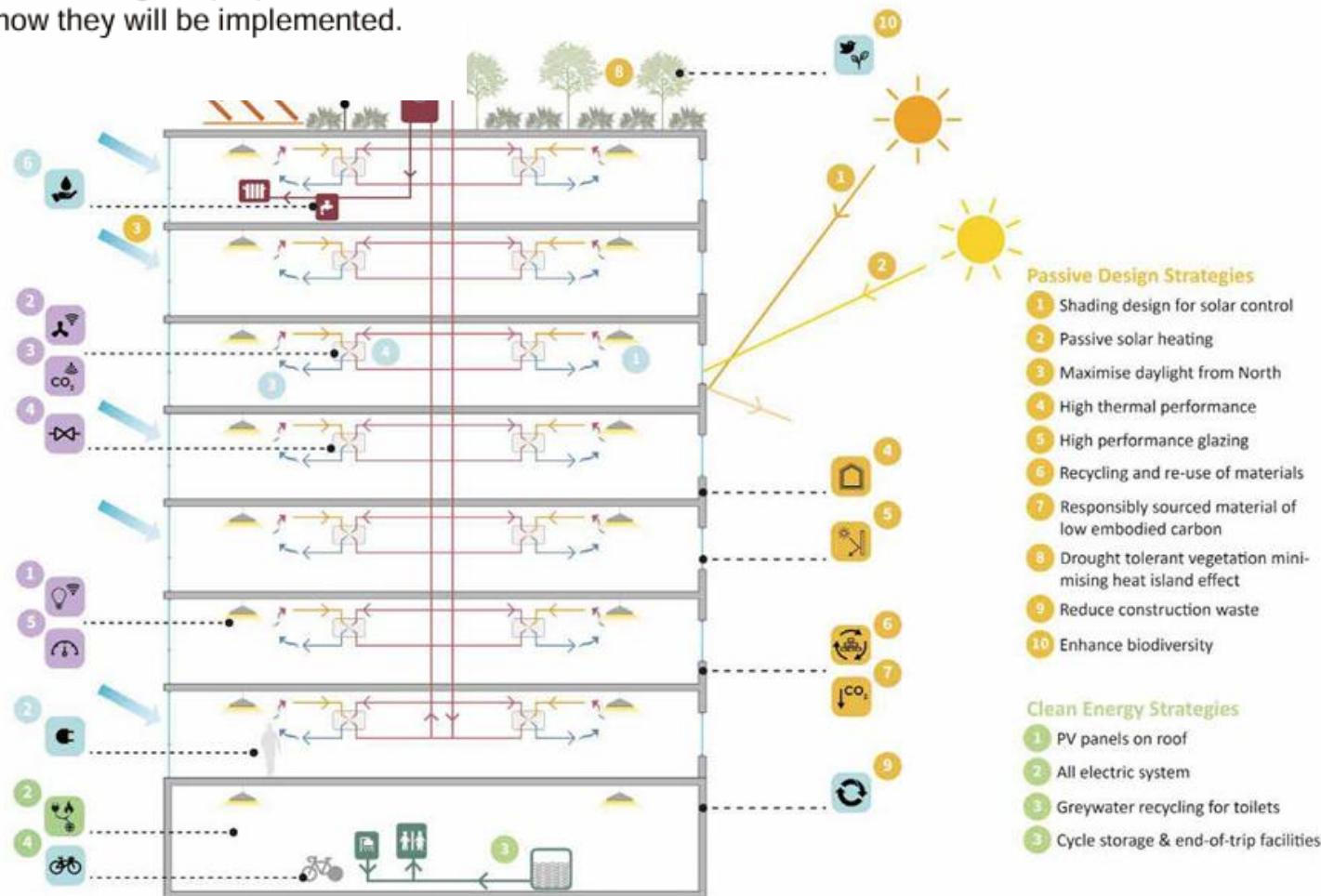
Conceptual section diagram illustrating the proposed sustainability strategies and how they will be implemented.

### System Design Strategies

- 1 LED lighting
- 2 Reduce tenant small power consumption
- 3 Potential for mixed mode ventilation with heat recovery
- 4 On floor airflow supply with low SFPs
- 5 ASHP with heat recovery for heating & DHW
- 6 Efficient fittings to reduce water consumption

### Smart Control Strategies

- 1 PIRs and daylight controls
- 2 Demand control airflow
- 3 CO<sub>2</sub> sensors
- 4 Flow controller - constant duct pressures
- 5 Smart metering
- 6 Local weather station controlled BMS system



# Sustainability

## Sustainability Targets Table

The table compares the Kett House sustainability targets to those outlined in Cambridge Policy and other specified minimum standards.

| Sustainability Targets   |  |
|--|--|
| Environmental Ratings  |  |
|   <ul style="list-style-type: none"> <li>BREEAM Excellent</li> <li>WELL Gold enabled</li> <li>NABERS 4.5*</li> <li>WiredScore Platinum</li> <li>RICS 2</li> </ul>   |  |
| Building Services  |  |
|   <ul style="list-style-type: none"> <li>All electric systems</li> <li>Minimise water use by 55%</li> <li>Greywater recycling</li> <li>ASHPs with heat recovery</li> <li>All electric systems</li> <li>Photovoltaics</li> <li>Smart controls</li> <li>LED lighting with PIR and daylight controls</li> <li>Low specific fan powers</li> </ul> |  |
| Materials  |  |
|   <ul style="list-style-type: none"> <li>High thermal performance</li> <li>High performance glazing</li> <li>Opportunities for reuse</li> </ul>   |  |

|  | Cambridge Policy/Minimum Standards  | Kett House Targets   |
|--|---|--|
|  BREEAM             | <ul style="list-style-type: none"> <li>BREEAM pre-assessment</li> <li>Excellent</li> </ul>  | <ul style="list-style-type: none"> <li>Excellent on V6.1</li> </ul>  |
|  Embodied Energy    | <ul style="list-style-type: none"> <li>Circular economy principles based on UKGBC</li> <li>Reuse material from demolition of existing building</li> <li>Sustainable procurement plan and responsible resourcing (BREEAM Mat03)</li> </ul> | <ul style="list-style-type: none"> <li>Pre-demolition audit undertaken, re-use and recycling opportunities identified</li> <li>Circular Economy GLA methodology</li> <li>Conduct a Sustainable procurement plan and responsible sourcing (BREEAM Mat03)</li> <li>RICs WLC Assessment A1-A5, &lt;600 kgCO2/m2, LETI Good building design</li> </ul> |
|  Operational Energy | <ul style="list-style-type: none"> <li>BREEAM Ene 01&gt;4 credits</li> </ul>  | <ul style="list-style-type: none"> <li>NABERS 4.5*</li> <li>BREEAM Ene 01&gt;4 credits</li> </ul>  |
|  Net Zero           | <ul style="list-style-type: none"> <li>Integrate renewables and LZC technologies (BREEAM Ene04)</li> </ul>  | <ul style="list-style-type: none"> <li>Integrate renewables and LZC technologies (BREEAM Ene04)</li> <li>EPC A</li> </ul>  |
|  Biodiversity       | <ul style="list-style-type: none"> <li>All development proposals should seek to conserve and enhance biodiversity</li> </ul>  | <ul style="list-style-type: none"> <li>Minimum 20% Net Gain for biodiversity (BREEAM LE02-04) (Cambridge aspiration)</li> </ul>  |
|  Water Consumption  | <ul style="list-style-type: none"> <li>55% reduction in water consumption against baseline (BREEAM Wat01 5 credits)</li> <li>Min. Part G 2010 requirements</li> </ul>   | <ul style="list-style-type: none"> <li>&gt;55% reduction in water consumption against baseline (BREEAM Wat01 5 credits)</li> <li>Drought tolerant planting</li> <li>Greywater recycling for toilets.</li> </ul>  |
|  Waste            | <ul style="list-style-type: none"> <li>Reduce construction waste and conduct a Site Waste Management Plan (BREEAM Wst 01 RMP)</li> </ul>  | <ul style="list-style-type: none"> <li>Conduct a Site Waste Management Plan (BREEAM Wst01 RMP)</li> <li>Reduce construction waste to &lt;6.5t/100m2GIA (BREEAM Wst01 2 credits)</li> </ul>   |
|  Smart Buildings  | <ul style="list-style-type: none"> <li>Integration of smart technologies</li> </ul>   | <ul style="list-style-type: none"> <li>WiredScore Platinum</li> </ul>  |

# Sustainability

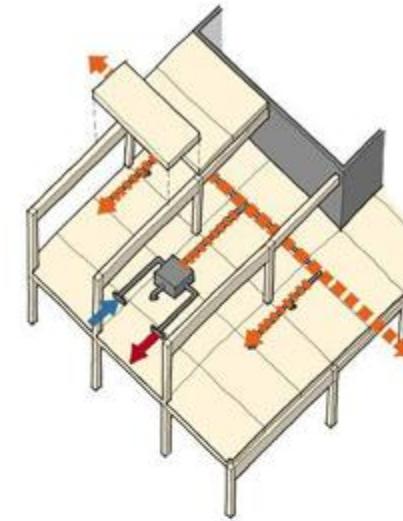
## More with Less

Several cutting edge and innovating design techniques, driven by a push to deliver a resource conscious and genuinely sustainable building are being incorporated into this scheme. Primarily these resolve around simplifying construction techniques and using better, lower carbon materials to significantly reduce both the embodied and operational carbon impact of the scheme. Additional ancillary benefits include reductions in construction waste, improved speed of construction, end of life demountability and reuse, and reduced site deliveries and logistics through construction.

A Hybrid steel and timber frame, mechanically fixed, with a jump form concrete core allows for a significant reduction in embodied carbon versus a traditional concrete slab and column construction. Additionally, the mechanically fixed nature of the superstructure allows for easy dismantling at end of life, if required. Further opportunities for material passporting will be explored in the next stages to enhance this process. The hybrid timber and steel structure, aside from offering a carbon reduction in the building superstructure, also offers a significant reduction in the size, and thereby embodied carbon within, the foundations.

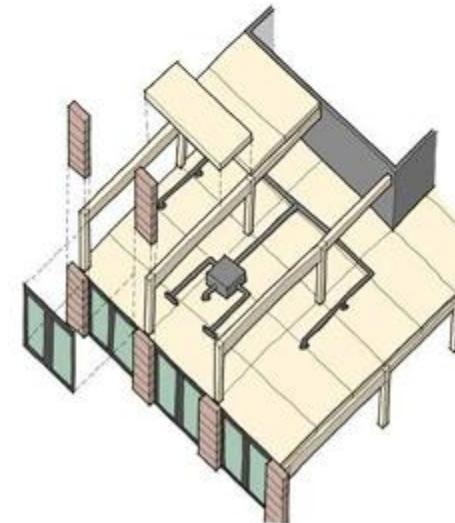
Decentralised plant systems are being explored as a modern alternative to traditional roof based plant. There are significant benefits available in operational carbon, as well as embodied carbon savings through a significantly reduced reliance on fire dampers throughout the building. This simplifies the MEP systems throughout.

is to



### Services

Modular, decentralised MVHR units.



### Glazing Units

Less stuff, less cost, less carbon.

# Materials and Detailing



Facade Bay Study (Smaller Block)  
Sandstone Facade



Facade Bay Study (Taller Block)  
Limestone Facade

---

## Modelling

Massing options have been explored both digitally and physically with a series of models, offering the team and the planning officers the opportunity to review the scheme in context throughout the pre application process.

# Process Model



Proposal in Context  
Process Model

# Kett Oak



Student Services Centre, University of Cambridge  
A precedent of a maintained historic piece within a contemporary  
proposal



Kett Oak Sculpture  
In its current location on the existing building facade.



Plan of proposed new sculpture location  
Located in a recessed panel on the ground floor facade (highlighted in yellow on the above plan), fronting onto the public realm for maximum visibility and engagement.

# Landscaping



# Indicative Landscaping



Rain garden  
Southern Pocket Park



Planter edges as seats  
Kett Oak Gardens



Planter examples  
Kett Oak Gardens



Public realm paving  
Throughout proposed landscape design

# Visualisations – Viewpoint 3



# Visualisations – Viewpoint 4



# Visualisations - Existing viewpoint 6



# Visualisations – Viewpoint 6



# Visualisations – Viewpoint 8



# Visualisations – Viewpoint 10



# Visualisations – Viewpoint 12



# Visualisations – Viewpoint 13



# Visualisations – Viewpoint 16



# Planning Balance

## Approval

Key material considerations

Regeneration of a brownfield site

High quality hybrid steel and CLT design

Public realm improvements

Meets high quality office need in key Central Business District location

Complete CB1 Station Road regeneration

Biodiversity net gain of more than 30%



## Refusal

Key material considerations

Lower level of harm to setting of designated and non-designated heritage assets mainly through form and scale of building

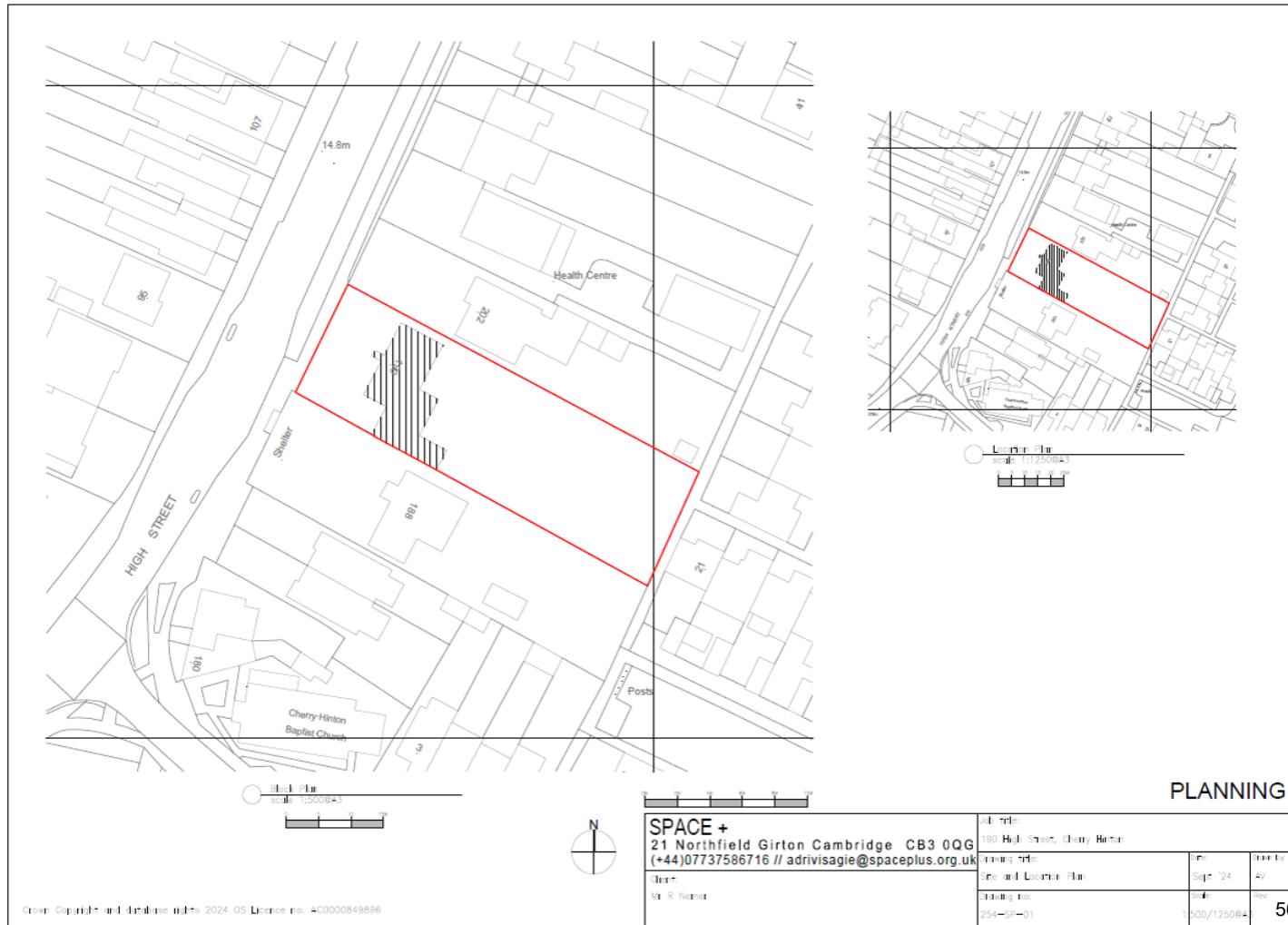
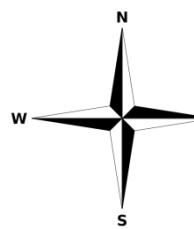
Foul water capacity at Cambridge Water Recycling Centre

Officer Recommendation: Approve

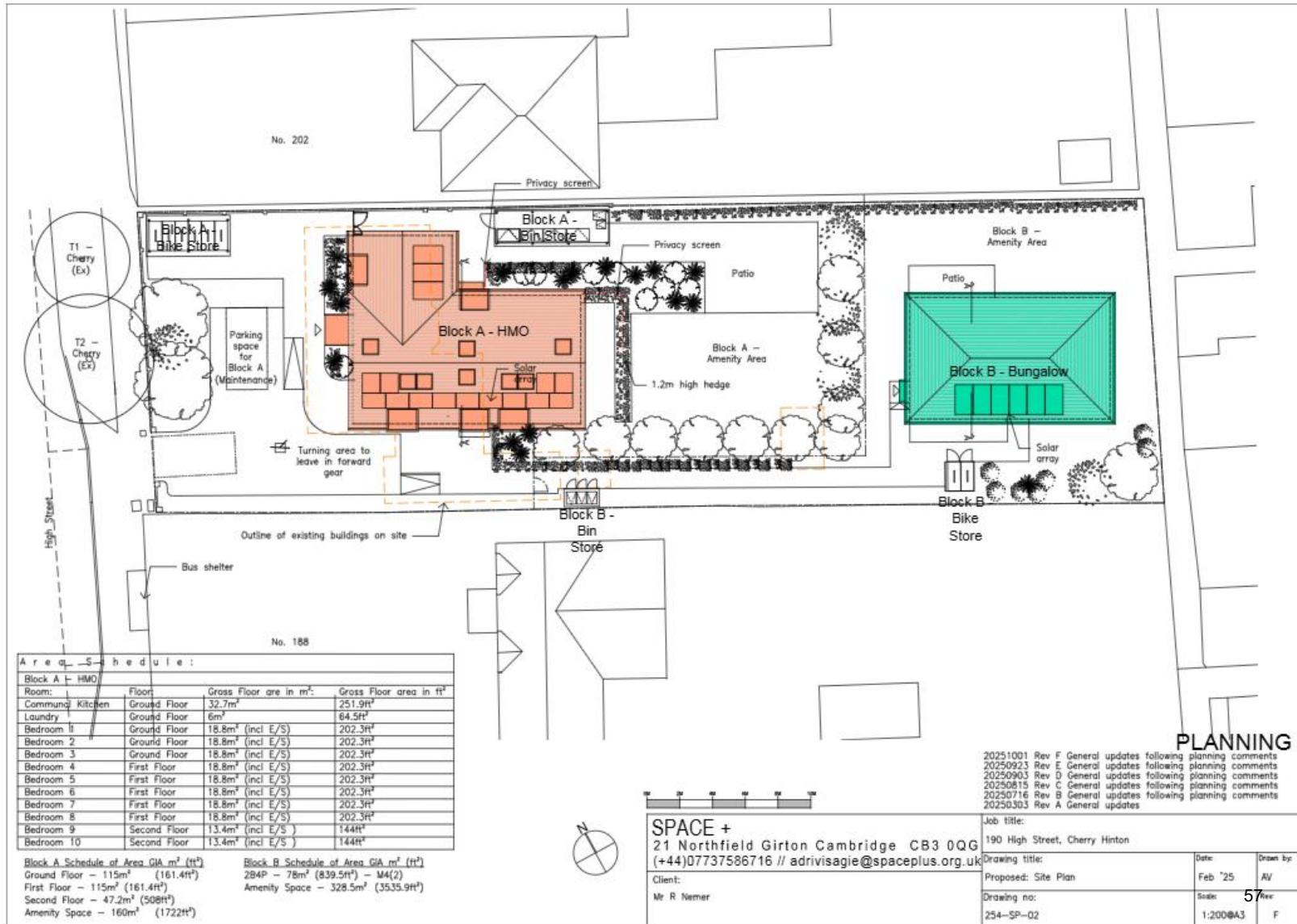
# MINOR APPLICATIONS

Ref no. 25/01321/FUL

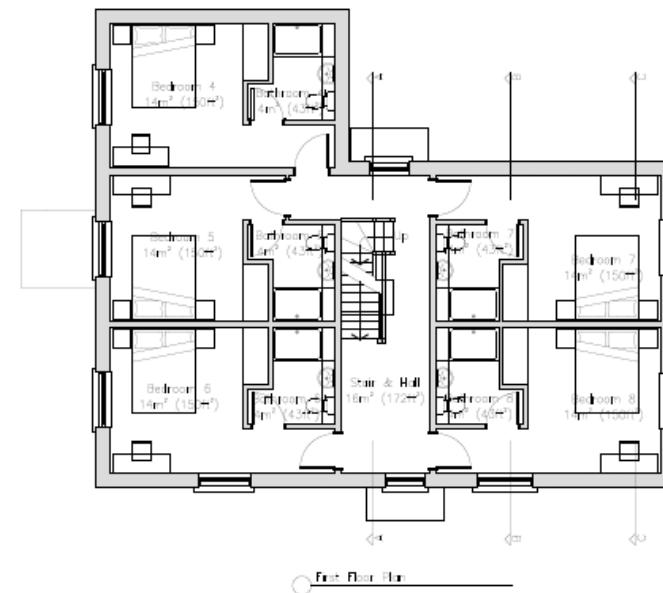
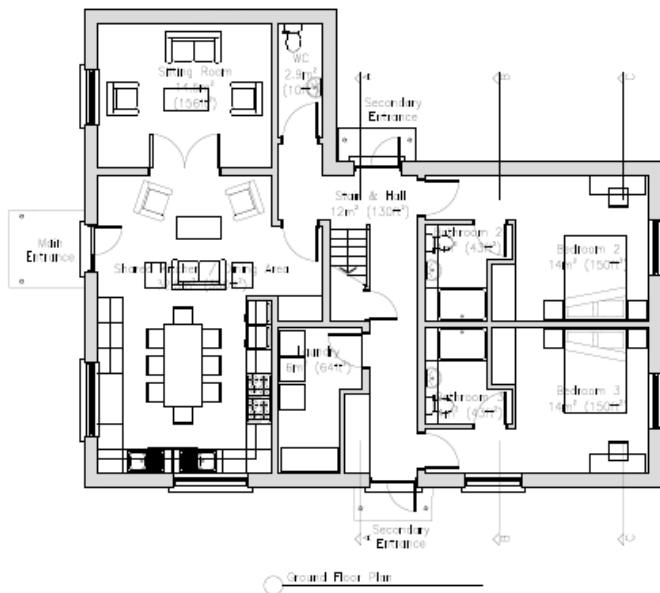
# 190 High Street, Cherry Hinton Site Location Plan



# Site Plan - Proposed



# Block A – Floor Plans



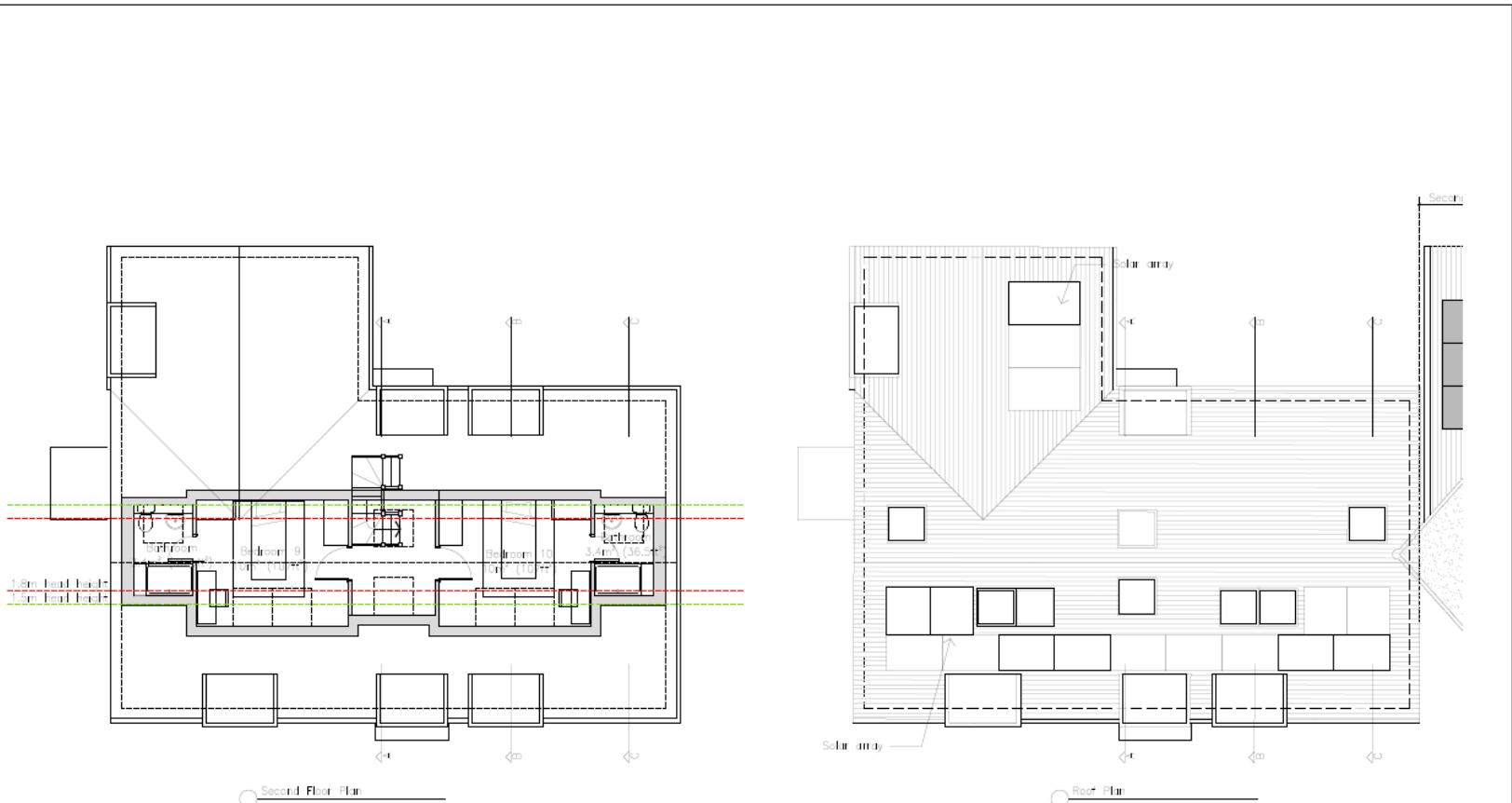
## PLANNING

20251125 Rev C Bedroom 1 removed and living room added  
 following planning comments  
 20250904 Rev B General updates following planning comments  
 20250815 Rev A General updates following planning comments



| Site                         |          |          |          |
|------------------------------|----------|----------|----------|
| 190 High Street, Chelty Hove |          |          |          |
| Planning Ref:                | Ref      | Per      | Per      |
| Proposed Block A – Plans     | 58       | 58       | 58       |
| Planning Ref:                | 58       | 58       | 58       |
| 254-SP-03                    | 1:1000A3 | 1:1000A3 | 1:1000A3 |

# Block A – Floor Plans



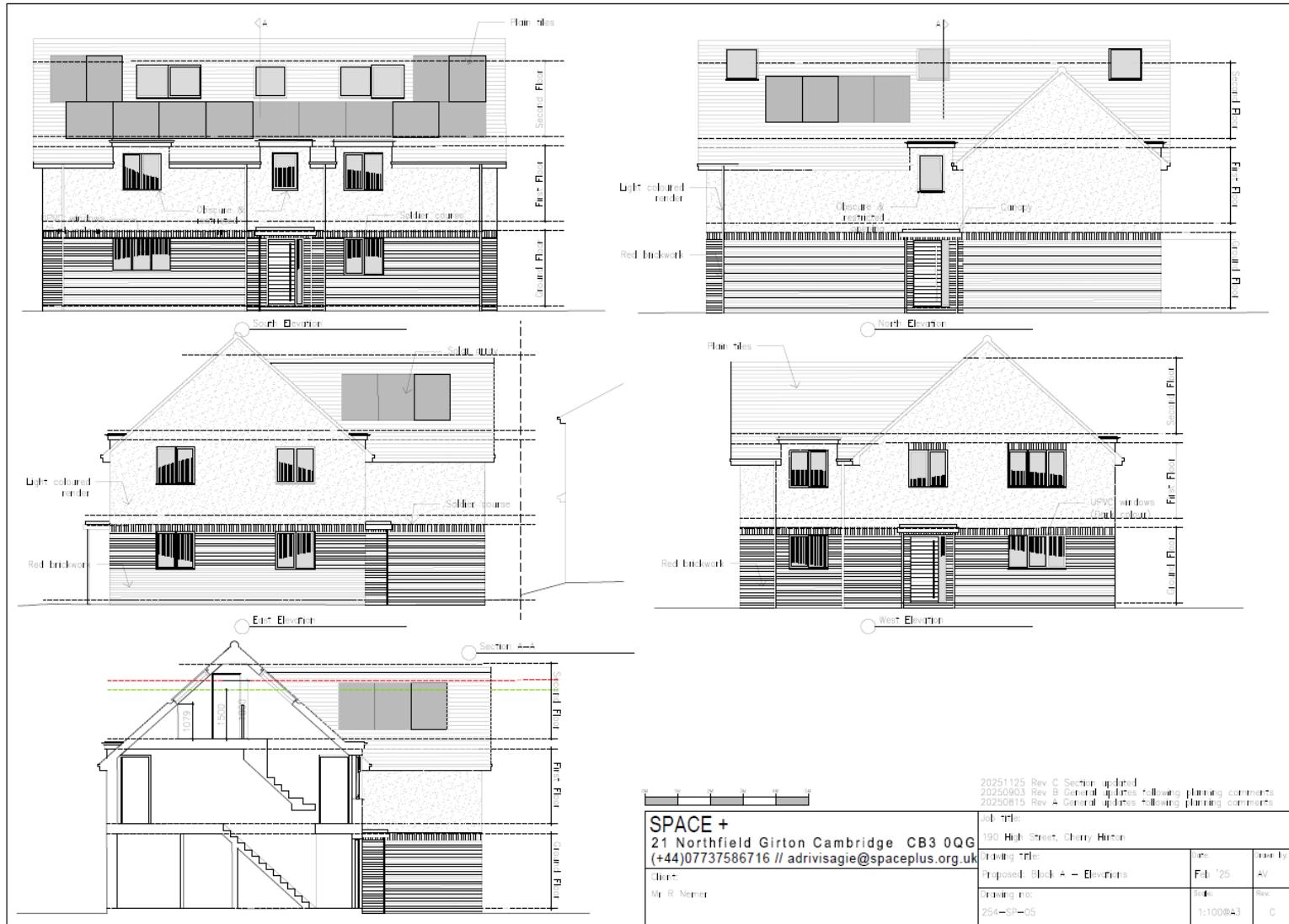
| PLANNING   |                   |
|--|-------------------|
| 20251125 Rev B Section B-3 & C-C and<br>20250815 Rev A General updates following planning comments |                   |
| Job ref:   |                   |
| 190 High Street, Cherry Hinton   |                   |
| Planning ref:  | Per<br>F1<br>59   |
| Proposed: Block A – Plans  | Area<br>AV        |
| Planning no:   | Scale<br>1:100@A3 |
| 254-SP-04  | Rev<br>B          |

SPACE +  
21 Northfield Girton Cambridge CB3 0QG  
(+44)07737586716 // [advisagie@spaceplus.org.uk](mailto:advisagie@spaceplus.org.uk)

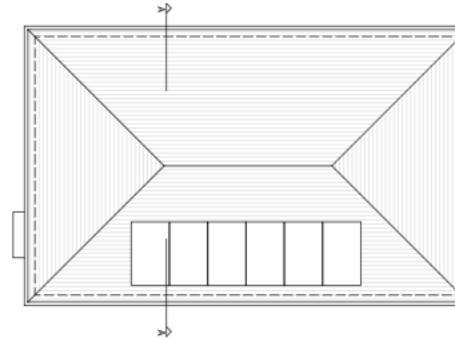
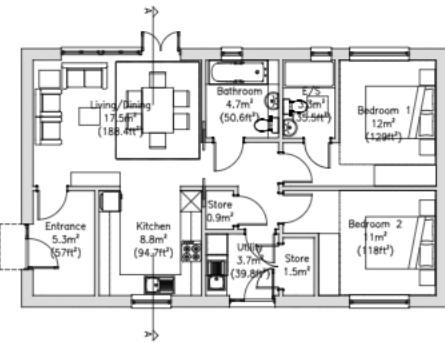
Client:  
Mr R Nemer

N

# Block A – Elevations



# Block B – Floor Plans

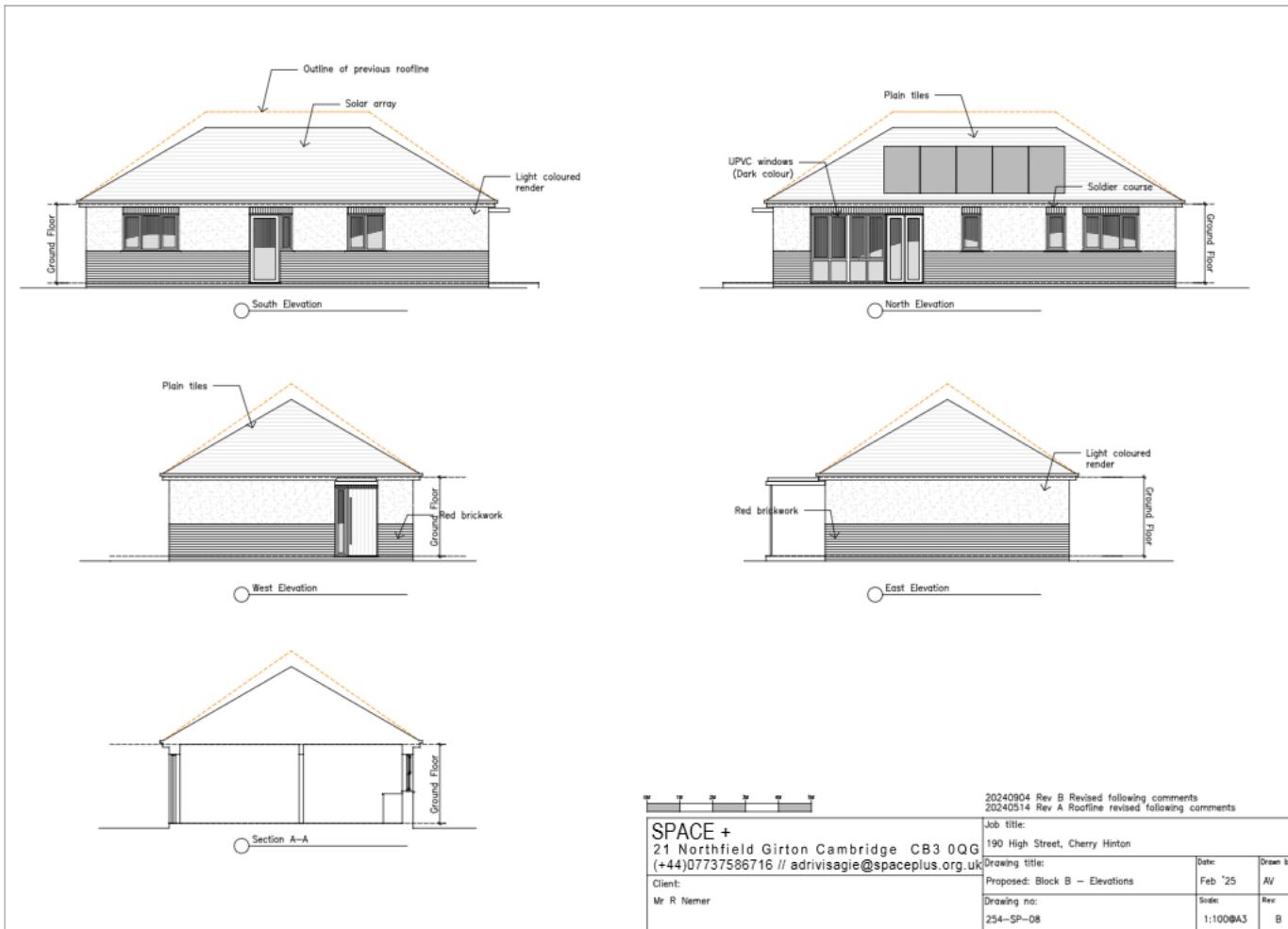


## PLANNING

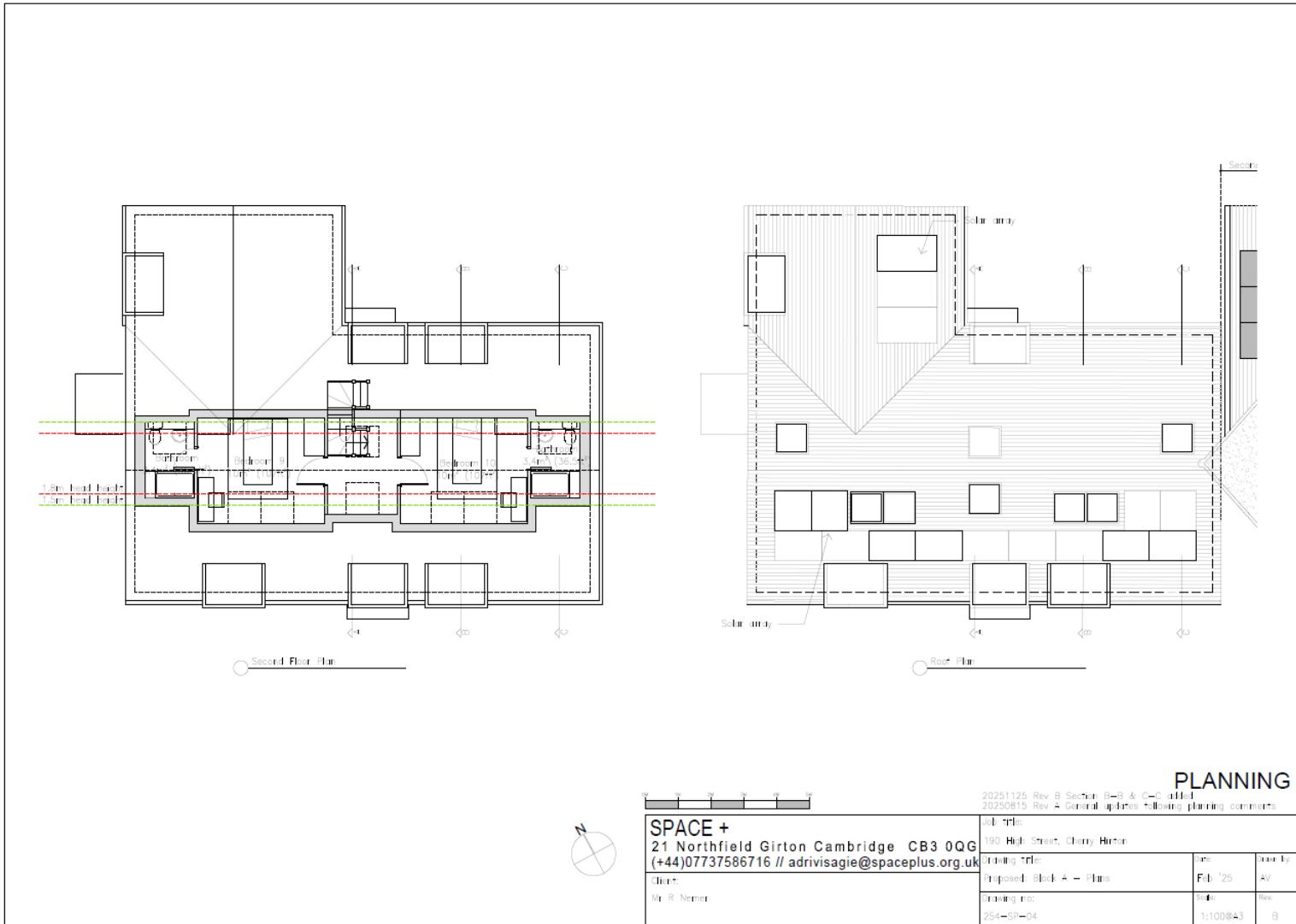
20240904 Rev A Revised following comments

|                                |          |           |
|--------------------------------|----------|-----------|
| Job title:                     |          |           |
| 190 High Street, Cherry Hinton |          |           |
| Drawing title:                 | Date:    | Drawn by: |
| Proposed: Block B – Plans      | Feb '25  | AV        |
| Drawing no:                    | Scale:   | Rev:      |
| 254-SP-07                      | 1:100@A3 | A         |

# Block B – Elevations



# Block A – Floor Plans



# Planning Balance

## Approval

Key material considerations

Residential accommodation (large HMO) and a two-bedroomed bungalow

Sustainable location.



Ecological enhancements to achieve statutory BNG via off-site credits and on-site provision can be conditioned.

Tree planting as part of the landscape scheme.

## Refusal

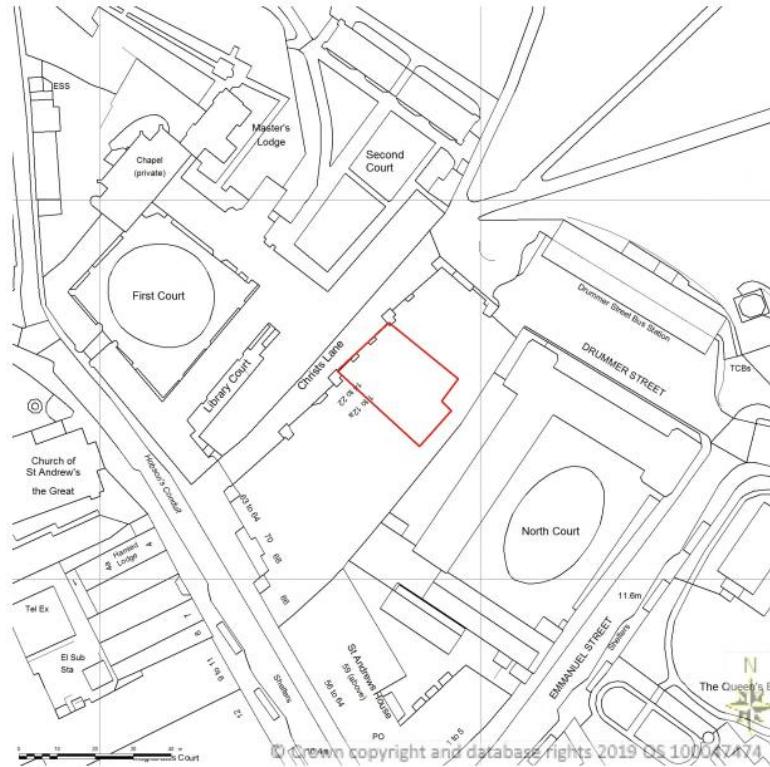
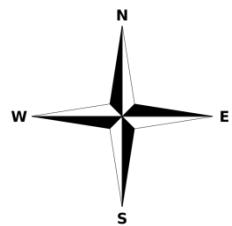
Key material considerations

Increase prominence in street scene

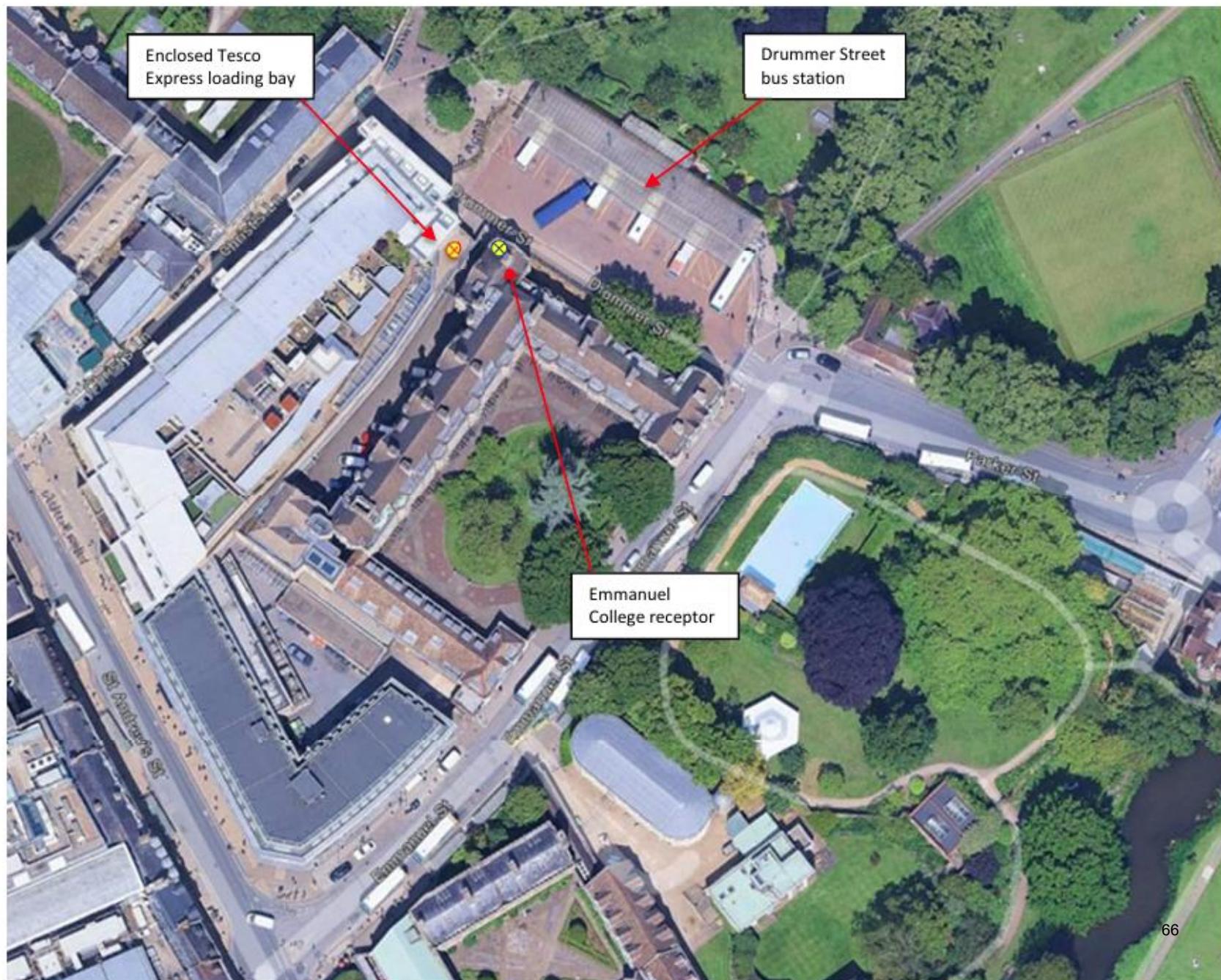
Officer Recommendation: Approve

25/02660/S73

*Units 5 and 6 Christs Lane  
Cambridge CB1 1NP*  
Site Location Plan



## Appendix A: Tesco Express, Christ's Lane, Cambridge site plan



Unloading  
bays



## FIGURE 4: Delivery vehicle unloading position

