

Planning Committee

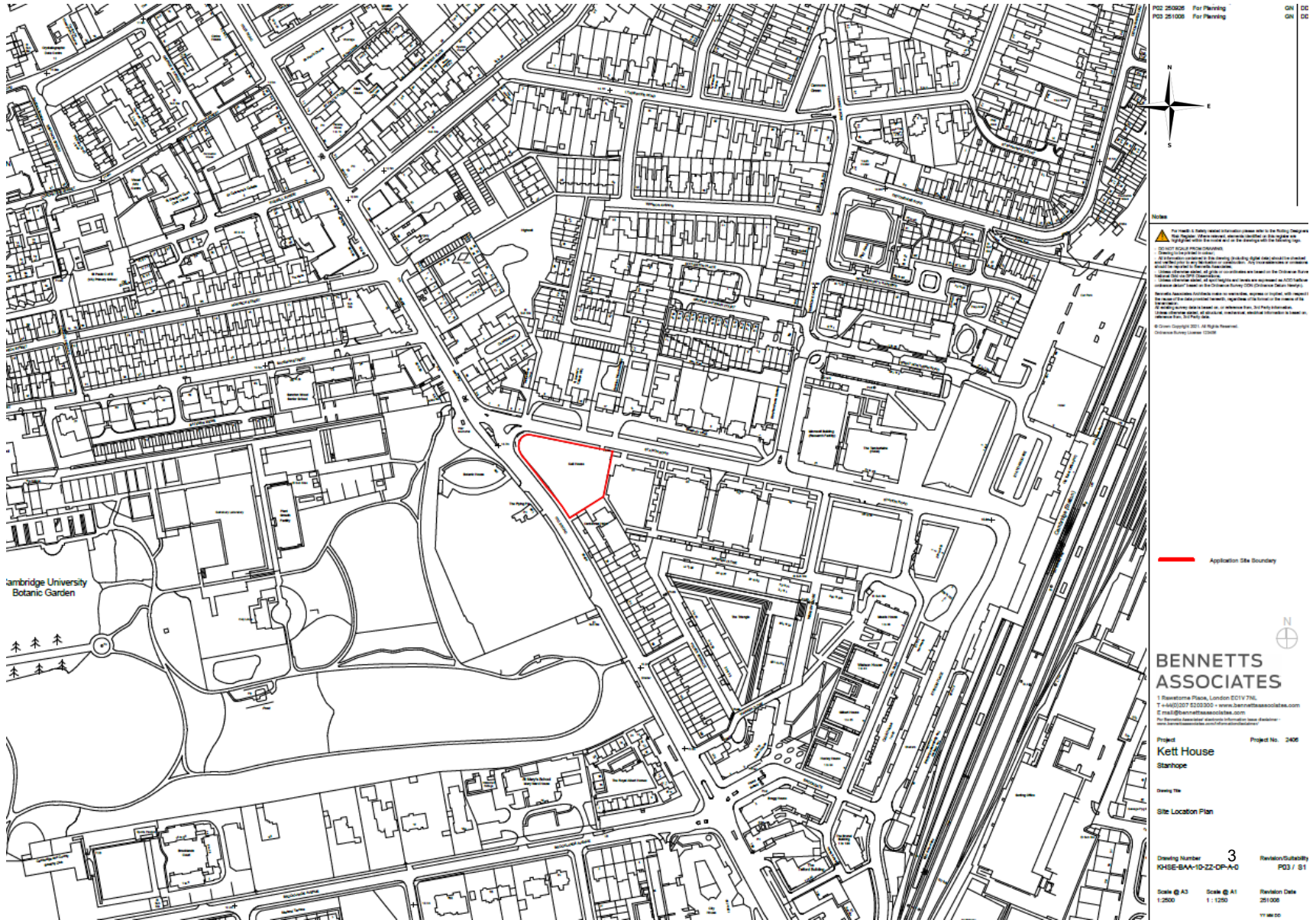


GREATER CAMBRIDGE
SHARED PLANNING

MAJOR APPLICATIONS

25/04039/FUL Kett House

Site Location Plan



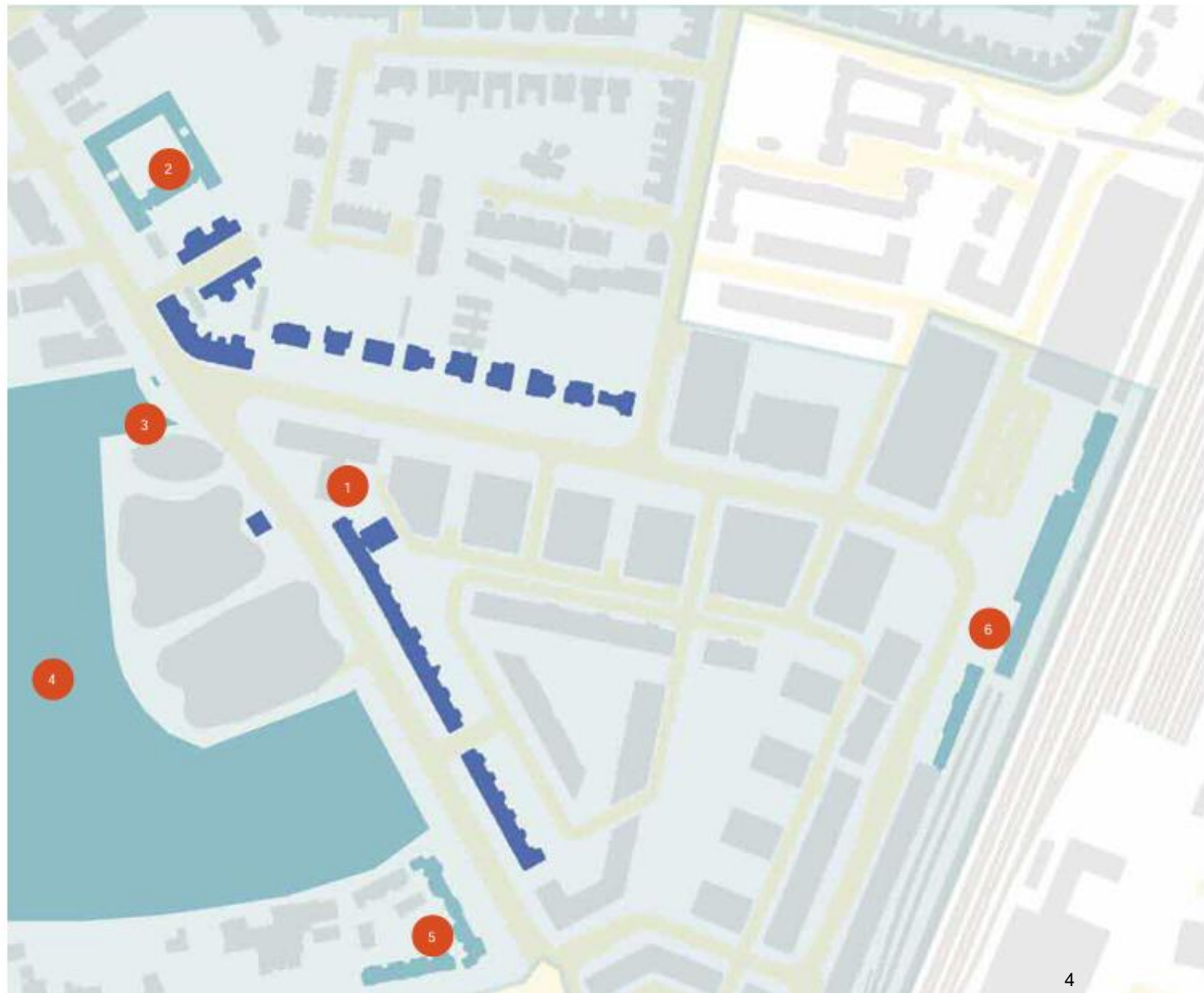
Heritage Context

22

4.0 Site Context & Analysis

Heritage Assets & Buildings of Local Interest
The site is located within a Conservation Area and is surrounded by a number of heritage assets and buildings of local interest.

- | | |
|---|--|
| 1 | Site |
| 2 | Highsett and from retaining wall, Grade II |
| 3 | War memorial, Grade II |
| 4 | Botanic Gardens, Grade II* |
| 5 | Royal Albert Homes, Grade II |
| 6 | Cambridge Railway Station, Grade II |



Heritage Assets & Buildings of Local Interest

Site Context

4.0 Site Context & Analysis

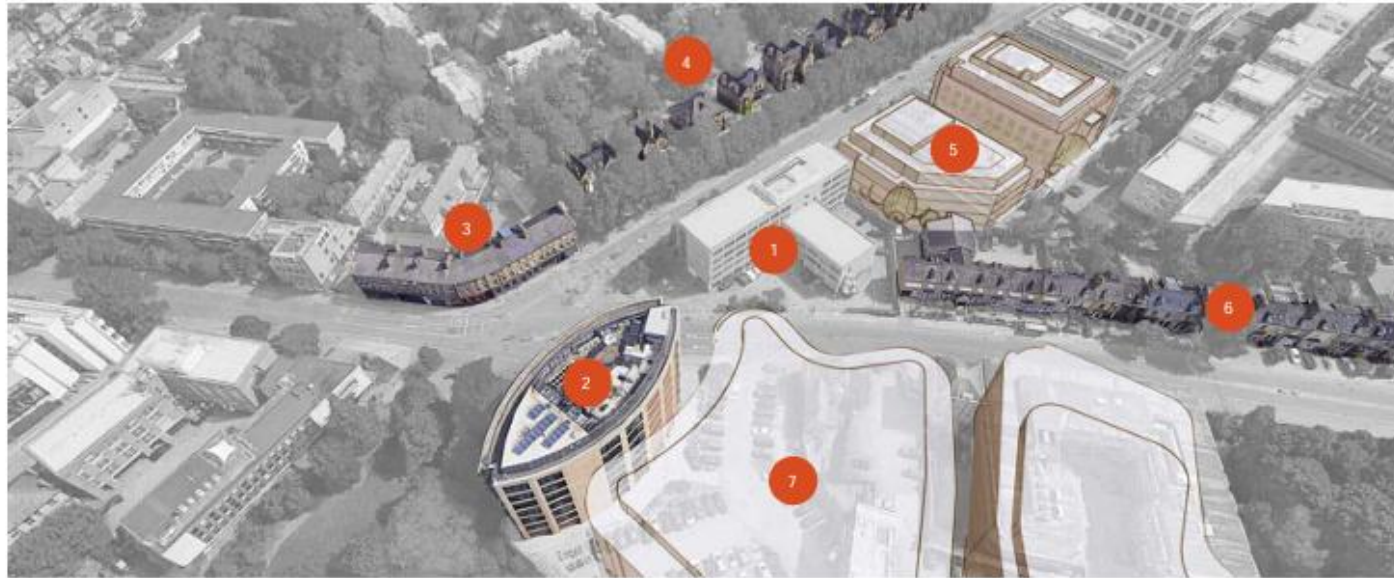
23

Building Typologies

Location plan and accompanying images identifying the key building typologies of neighbouring buildings around the site.

- | | |
|---|---|
| 1 | Site, with Existing Building |
| 2 | Botanic House, local landmark |
| 3 | Nos 55-59 Hills Road with 1-7 Station Road (former Great Northern Hotel)* |
| 4 | 9-15 Arundel Villas, 17 St Andrews, 19-29 Salisbury Villas* |
| 5 | Station Road Office Buildings, part of the CB1 development* |
| 6 | Eastbourne Terrace and College Terrace, inc. Centennial Hotel* |
| 7 | Botanic Place, recent major development |

*locally listed buildings



GN	DO
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[illegible]

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Project Kett House
Stanhope

Existing Site Plan

Drawing Number	6	Revision/Suitability
KHSE-BAA-14-ZZ-OP-A-0		P03 / 81

Scale @ A3 1:400	Scale @ A1 1 : 200	Revision Date 25/08/08
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TY 111 50

This architectural site plan illustrates the layout of the University of Twente campus. The central feature is a large, interconnected building complex with various internal courtyards and courtyards. Surrounding the building are several parking lots, each with numbered spaces. The plan also shows a road with a roundabout, a bus stop, and a small circular structure. The entire site is enclosed by a boundary line, with a north arrow indicating orientation.

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Revision Date
25/1/08



- | | |
|---|---|
| 1 | Existing car park
Parking at prominent corner junction location. No public space. |
| 2 | Pavement around site
Narrow, inconsistent pavement around the site. |
| 3 | Existing substation on site
Electrical substation located on Kett House site, parallel to Station Road. |
| 4 | Public realm
Cluttered public realm transition between 10 Station Road and Kett House. |
| 5 | Junction approach
A lack of a 'marker' building at this prominent site at the turning point to the station. |
| 6 | Hills Road approach
Poor quality urban realm. |
| 7 | Station Road approach
Obstructed public realm. CB1 masterplan landscaping culminates in a wall on the Kett House site. |
| 8 | Station Road approach
Narrow pavement and poor quality greenery. |

Kett House to be demolished



Existing Building
Current condition

Site Context

4.0 Site Context & Analysis

21



01. Existing Car Park
Parking at prominent corner junction location. No public space.



02. Pavement
Narrow, inconsistent pavement around the site.



03. Existing Substation
Electrical substation located on Kett House site, parallel to Station Road.



04. Public Realm
Cluttered public realm transition between 10 Station Road and Kett House.



05. Junction Approach
A lack of a 'marker' building at this prominent site at the turning point to the station.



06. Hills Road Approach
Poor quality urban realm.



07. Station Road Approach
Obstructed public realm. CB1 masterplan landscaping culminates in a wall on the Kett House site.



08. Station Road Approach
Narrow pavement and poor quality greenery.

Design Evolution

48

8.0 Design Evolution



Prior Massing / Heights
Includes level 8 accommodation (Design Review Panel 1 scheme).



Revised Massing / Heights
All 10,000sqft of level 8 accommodation removed from the proposed scheme, with a carved terrace at level 7 enabling views to the sky from the key Botanic Place viewpoint.

Indicative Proposed Scheme

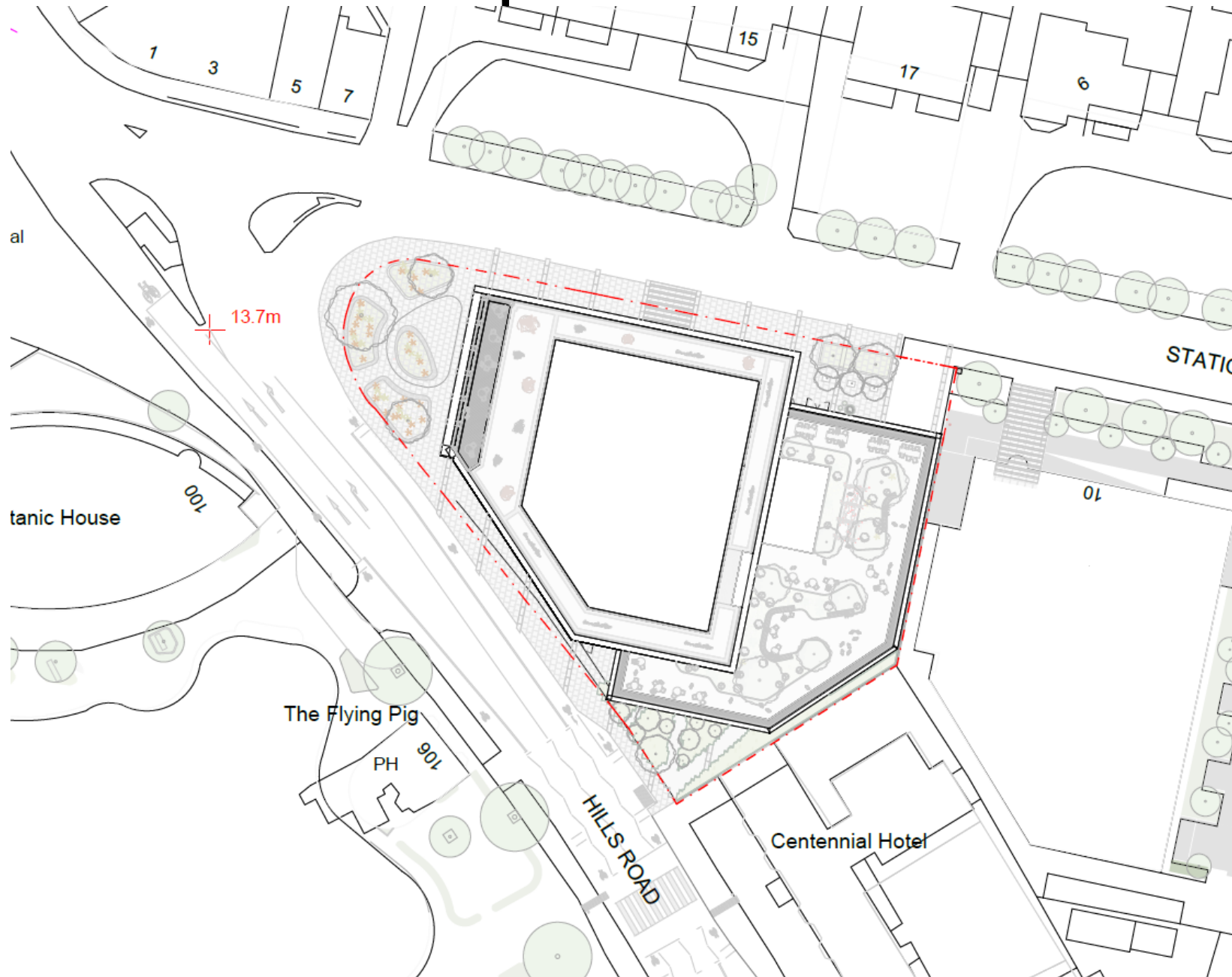


Integration with wider strategic goals
The Kett House plot was not initially included in the CB1 masterplan; a large and successful regeneration scheme which has transformed the area between the train station and Hills Road. As such, the plot can be seen to represent the final piece of the masterplan in the Station Road area, after the completion of the CB1 scheme. Due to its prominent location at the intersection of Hills and Station Road, the plot offers a fantastic opportunity for the development of a genuinely sustainable building, utilising cutting edge low carbon construction methods to set a benchmark for sustainable construction in the city for the future, whilst retaining a clear link to the heritage of the site through its materiality. Resilient planting and water gardens have been proposed to ensure that this forward looking approach to climate change is evident through the landscape.

Indicative Proposed Scheme



Proposed Site Plan



Rev	Date	Revision	By
PD3	25/03/15	Planning Design Freeze	CH
PD3	25/03/15	For Planning	CH
PD3	25/03/15	For Planning	CH

Notes

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Project: **Kett House** Project No: 2406
 Stanhope

Drawing Title: **Site Plan**

Drawing No: **14**
 KHSE-BAA-10-ZZ-OP-A-1

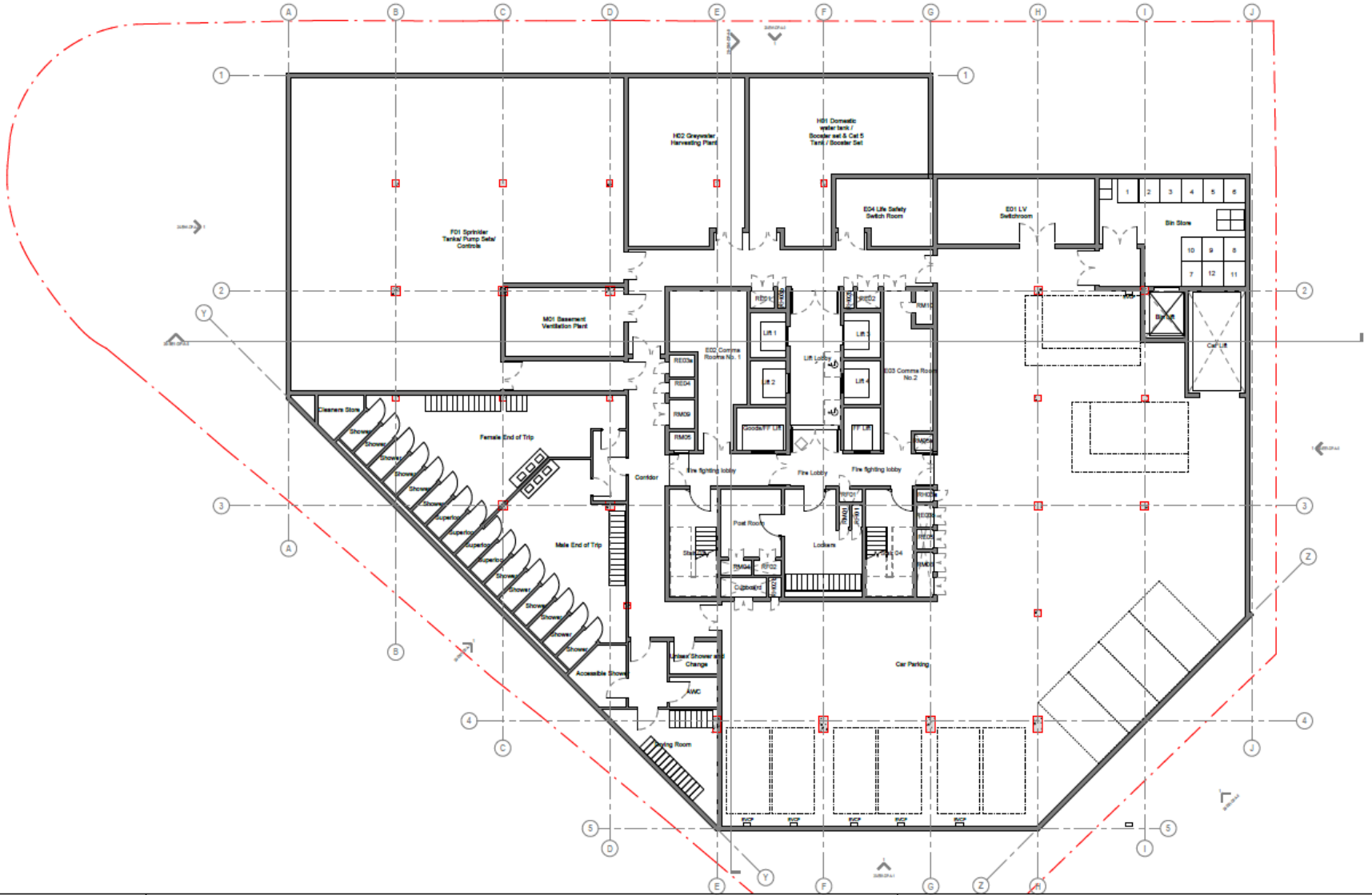
Scale @ A3: 1:400 Scale @ A1: 1:200

Revision/Subject: PD3 / S1

Revision Date: 25/03/15

[illegible]Revision Date
n/a (not applicable)

Proposed Basement Floor Plan



Rev	Date	Revision	By	CHK	Notes
101	25/09/15	Planning Design Freeze	GN	DD	
102	25/09/15	For Planning	GN	DD	
103	25/10/15	For Planning	GN	DD	

Notes

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Drawing No. 16
Kett House
Garage

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Project
Kett House
Garage

Drawing No.
General Arrangement
Level B1 - Floor Plan

Scale 1:100
Scale 1:200

16
Kett House
Garage

Project No. 2405

Revision/Status
PG3 / S1

Revision Date
25/10/15

[illegible][illegible]

Project No. 2406

Revision/Suitability
P03 / S1

Revision Date
251008

Rev	Revision	By	Chk	<p>Notes</p> <p>1. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request.</p> <p>2. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request.</p> <p>3. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request.</p> <p>4. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request.</p> <p>5. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request. The design is based on the information provided in the Building Department's request.</p>
001	2009/10	Planning Design Freeze	GIN	
002	2009/12	For Planning	GIN	
003	2010/06	For Planning	GIN	
			GIN	



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Project
Kett House
Stanhope

Drawing Title
General Arrangement
Level 06 - Floor Plan



19
Drawing Number
KH-SE-BAA-20-L06-OP-A-0

Scale @ A3	Scale @ A1
1:200	1:100


Project No. 2406

Revision/Sustainability
P03 / S1Revision Date
25/008

Rev	Date	Revision
Y01	250918	Planning Design Freeze
Y02	250928	For Planning
Y03	251008	For Planning

Rev	Date	Revision
Y01	250918	Planning Design Freeze
Y02	250928	For Planning
Y03	251008	For Planning

Notes

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Project
Kett House
Stanhope

Drawing Title
General Arrangement
Level 07 - Floor Plan



20
Drawing Number
KHSE-BAA-20-L07-OP-A-0

Scale @ A3	Scale @ A1
1:200	1:100


Project No. 2406

Revision/Sustainability
P03 / S1Revision Date
25/008

THE

Rev	Date	Revision	By	CHK
P01	250918	Planning Design Freeze	GN	DD
P02	250926	For Planning	GN	DD
P03	251008	For Planning	GN	DD

NOTES

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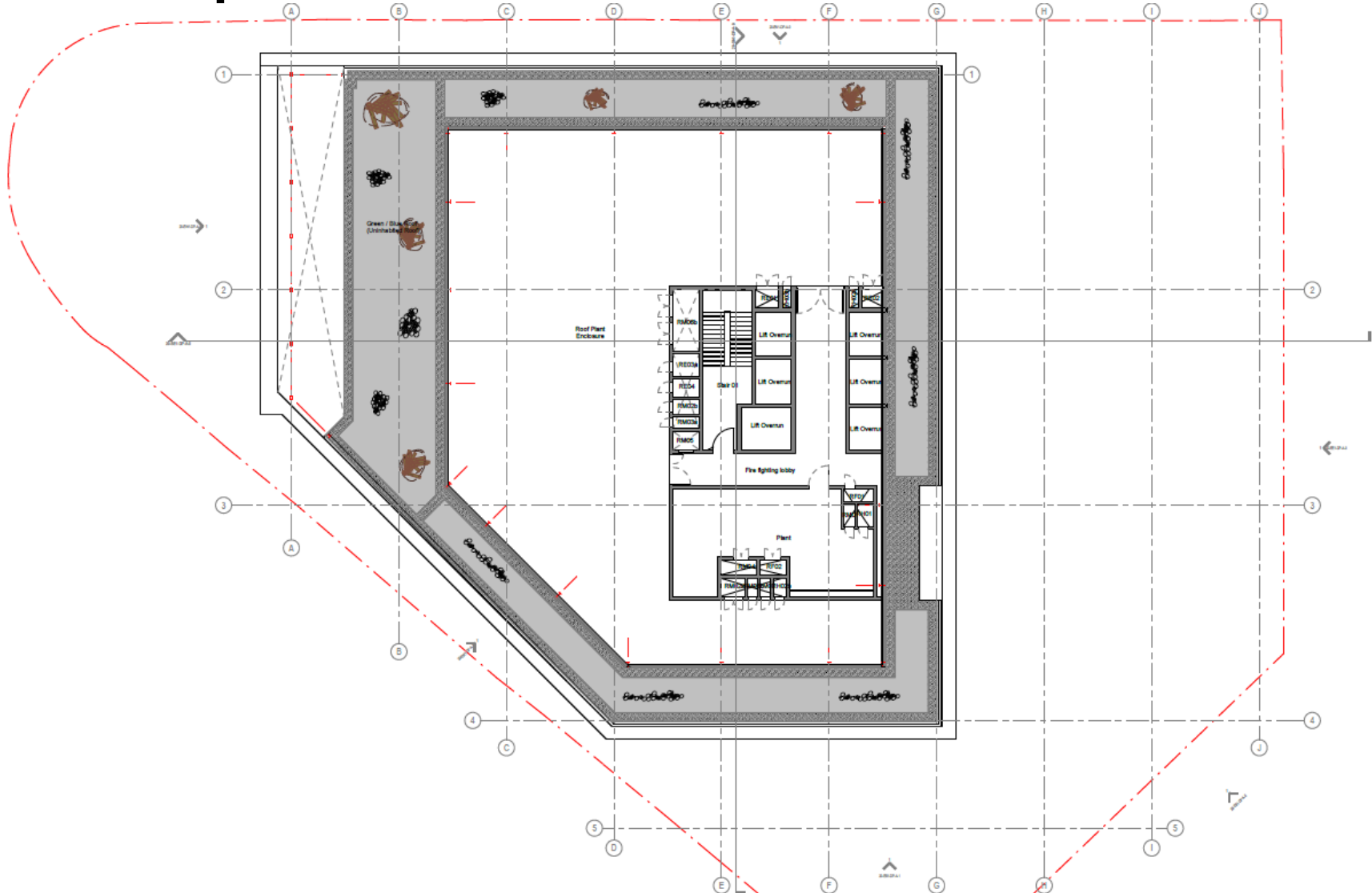
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Project
Kett House
Stanhope

Drawing Title
General Arrangement
Level 08 - Floor Plan

Drawing Number **21**
KHSE-BAA-20-L08-CP-A-0

Scale @ A3 1:200	Scale @ A1 1:100
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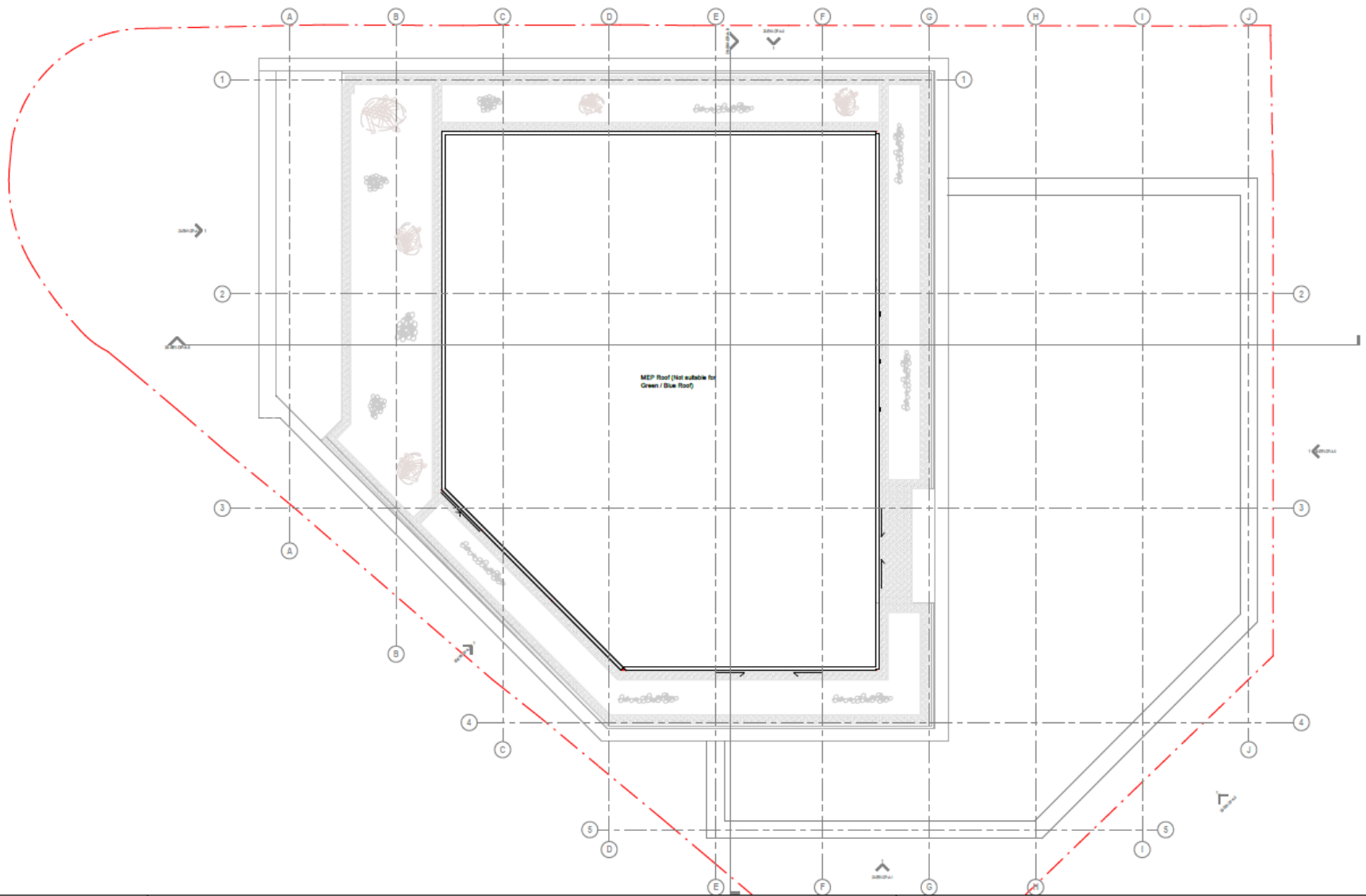
Project No. 2406

P03 / S1

Revision Date
25/1/2005

TY IN CO

Proposed Roof Plan



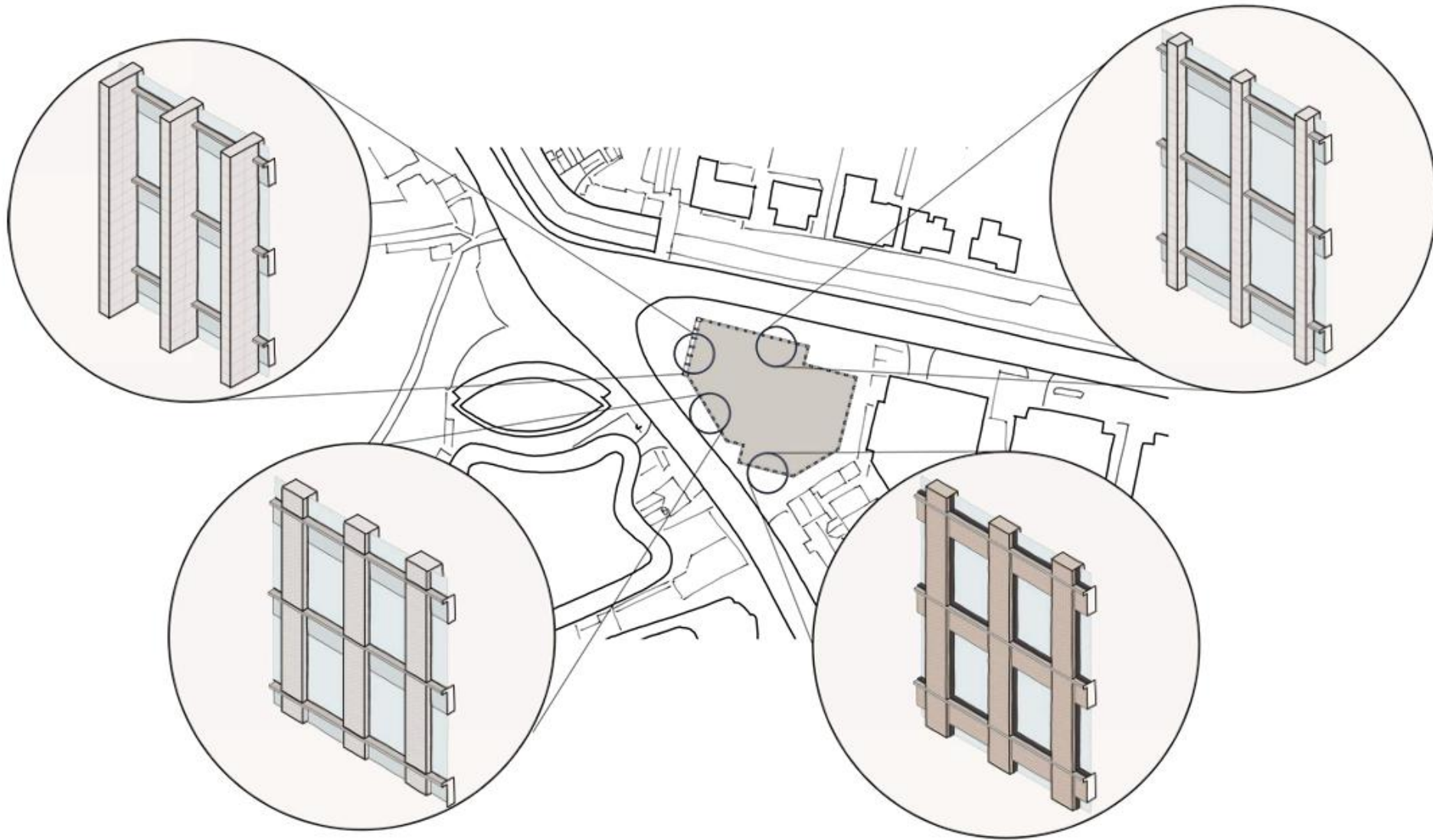
<p>Date Revision 01/25/2018 Planning Design Phase 02/26/2018 For Planning 03/15/2018 For Planning</p> <p>By CDE GN DD</p> <p>Check CDE GN DD</p> <p>Notes</p> <p>1. The north arrow indicates the orientation of the site plan. The North Arrow is located in the upper right corner of the drawing. The North Arrow is located in the upper right corner of the drawing.</p> <p>2. The scale of the drawing is 1" = 100'.</p> <p>3. The drawing is a preliminary plan and is not to be used for construction.</p> <p>4. The drawing is a preliminary plan and is not to be used for construction.</p> <p>5. The drawing is a preliminary plan and is not to be used for construction.</p> <p>6. The drawing is a preliminary plan and is not to be used for construction.</p> <p>7. The drawing is a preliminary plan and is not to be used for construction.</p> <p>8. The drawing is a preliminary plan and is not to be used for construction.</p> <p>9. The drawing is a preliminary plan and is not to be used for construction.</p> <p>10. The drawing is a preliminary plan and is not to be used for construction.</p>	<p>BENNETTS ASSOCIATES</p> <p>1 Riverside Plaza, London EC1V 7NL T +44(0)207 8233300 • www.bennettsassociates.com E mail@bennettsassociates.com</p> <p>For Bennett's detailed information on our services, please visit our website at: www.bennettsassociates.com</p> <p>© Bennett's Associates Limited 2018. All Rights Reserved.</p>	<p>Project Kett House Shimpo</p> <p>Drawing 22 NOSE-BAN-2205-UP-O-4</p> <p>Revision 01 / 01</p> <p>Scale A3 1:100</p> <p>Scale A1 1:100</p> <p>Revision 25/10/18</p>
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Architectural drawing of the Proposed North Elevation of a building. The drawing shows a multi-story building with a grid of windows and a base with various access points. Annotations include: 'Vehicle deliveries', 'Cycle access', 'Main Access', 'Mezany Type 01', 'Precast Concrete Cill', 'PPC Metal Spandrel', 'Ventilation Louvre', 'Back painted glass', and 'Buffered access to car lift'. A scale bar at the bottom indicates 1:100.

Indicative Northern Elevation



Design Evolution Glazing



1 Proposed East Elevation
1 : 100

Architectural elevation drawing of a building facade. The drawing shows a multi-story building with a grid-like facade of windows and doors. The building is divided into several horizontal sections by dashed lines representing different levels. The levels are labeled on the left side of the drawing:

- FFL 48.100 m (L00)
- FFL 41.250 m (L07)
- FFL 37.400 m (L06)
- FFL 33.550 m (L05)
- FFL 29.700 m (L04)
- FFL 26.850 m (L03)
- FFL 22.000 m (L02)
- FFL 18.150 m (L01)
- FFL 13.850 m (L00)

On the right side, there are additional level labels:

- 35.50 m
- 37.40 m

The drawing also includes a small inset map of the building's location in the bottom left corner, showing the building's footprint and surrounding context. The building's facade is composed of various materials, including brick, stone, and glass. The windows are arranged in a regular grid pattern, and the doors are located at the ground level. The drawing is a technical architectural representation of a building facade.

①



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Revision Date
25/1/2008

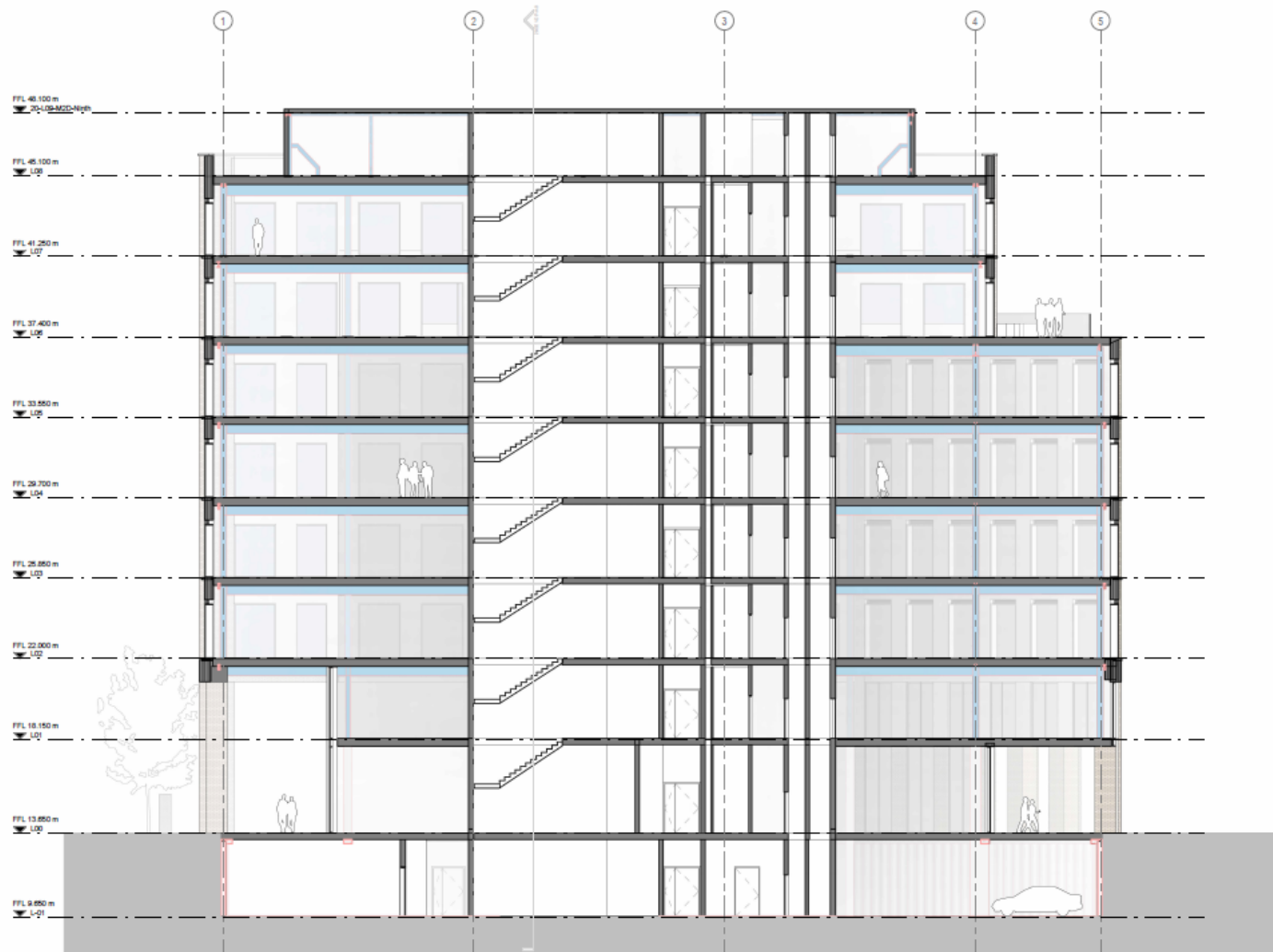
Architectural elevation drawing of the proposed south elevation of a building. The drawing shows a multi-story structure with a grid of columns labeled A through J and floor levels indicated on the left. The building features a mix of brickwork and large glass windows. A map of Ireland is overlaid on the central part of the facade. The ground level is marked with a 'Cycle access' label. The drawing is titled 'Proposed South Elevation' at the bottom left.

11. **UNITED STATES**

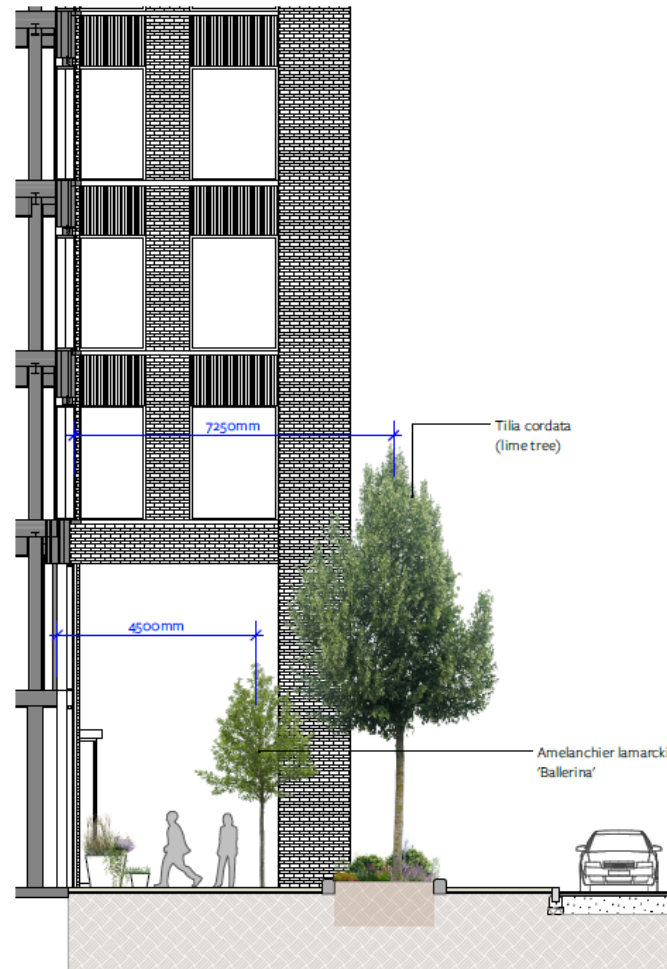
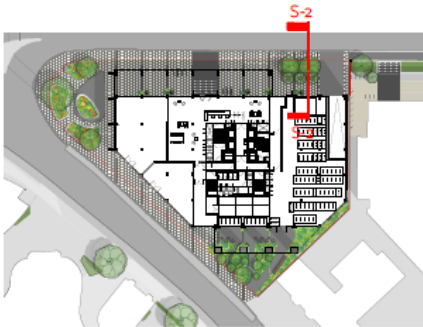
[illegible]Revisions Date

Architectural section drawing of a building, showing multiple floors and structural elements. The drawing includes a grid system with labels A through J and FFL (Finished Floor Level) markers on the left side. The building has a complex, stepped profile with various room layouts and structural details.

Proposed North Section



Proposed Station Road Section



NOTES

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All structural elements are shown indicatively. For all elements of structure, refer to structural engineers' and specialist sub-contractor/fabricators' designs, detail and specification.
The drawings are to be read in conjunction with all relevant landscape architect, consultant and specialist drawings.
This drawing is to be read specifically in conjunction with:
XXX-RMA-XX-XX-DR-4-XXXXXX

P01	25.03.25	First Issue	TH
P02	29.04.25	Updated dimensions	SB
P03	10.06.25	Updated arrangement	SB
P04	07.08.25	Updated arrangement	HM
P05	05.09.25	Column planters removed	HM
P06	24.09.25	Label updates	HM
P07	29.09.25	Building update	HM
Rev:	Date:	Description:	Drawn by:

REVISIONS

Status: **S2 - FOR INFORMATION**

Client: **Stanhope**

Project Title: **Kett House**

Drawing: **Section 02**

Scale: 1:100 @ A3 Drawn By: TH

Drawn Date: March 2025 RMA Project No: 857.01

Checked: PM Checked: RM

Drawing Number: **KHSE-RMA-ZZ-ZZ-DR-L-04002**

Status: **S2**

Revision: **P07**

Robert Myers Associates
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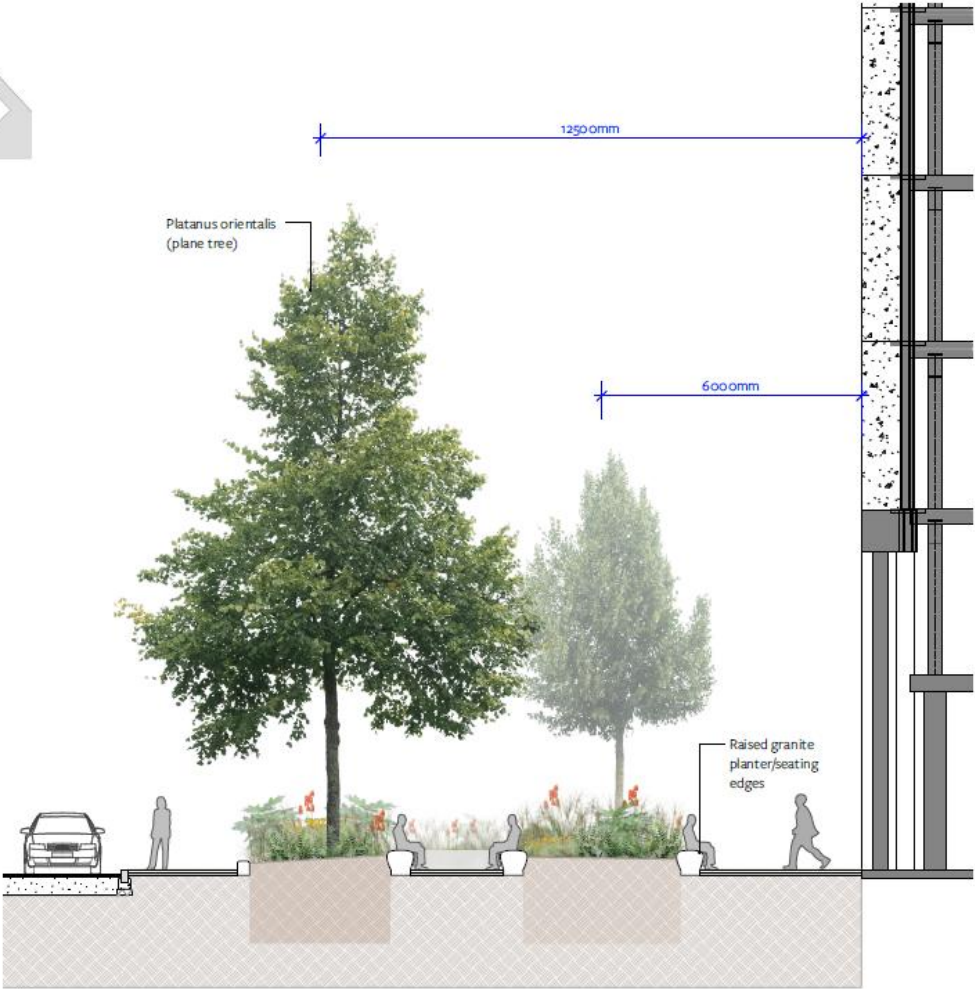
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S2 Station Road Section
Scale 1:100 @ A3 @ XX

Station Road Colonnade



Proposed Junction Section



S1 Focal point section
Scale 1:100 @ A3

NOTES

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XXX-RMA-XX-XX-DR-L-XXXXX

P01	25.03.25	First Issue	TH
P02	29.04.25	Updated dimensions	SB
P03	10.06.25	Updated arrangement	SB
P04	07.08.25	Updated arrangement	HM
P05	05.09.25	Kerb line change	HM
P06	24.09.25	Label updates	HM
P07	29.09.25	Building update	HM
Rev:	Date:	Description:	Drawn by:
REVISIONS			

Status:	S2 - FOR INFORMATION		
Client:	Stanhope		
Project Title:	Kett House		
Drawing:	Section 01		
Scale:	1:100 @ A3	Drawn By:	TH
Drawn Date:	March 2025	RMA Project No:	857.01
Checked:	PM	Checked:	RM
Drawing Number:	KHSE-RMA-ZZ-ZZ-DR-L-040.01		
Status:	S2		
Revision:	P07		

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DO NOT SCALE FROM THIS DRAWING
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Spot heights along Station south section



Sustainability

Sustainability Targets

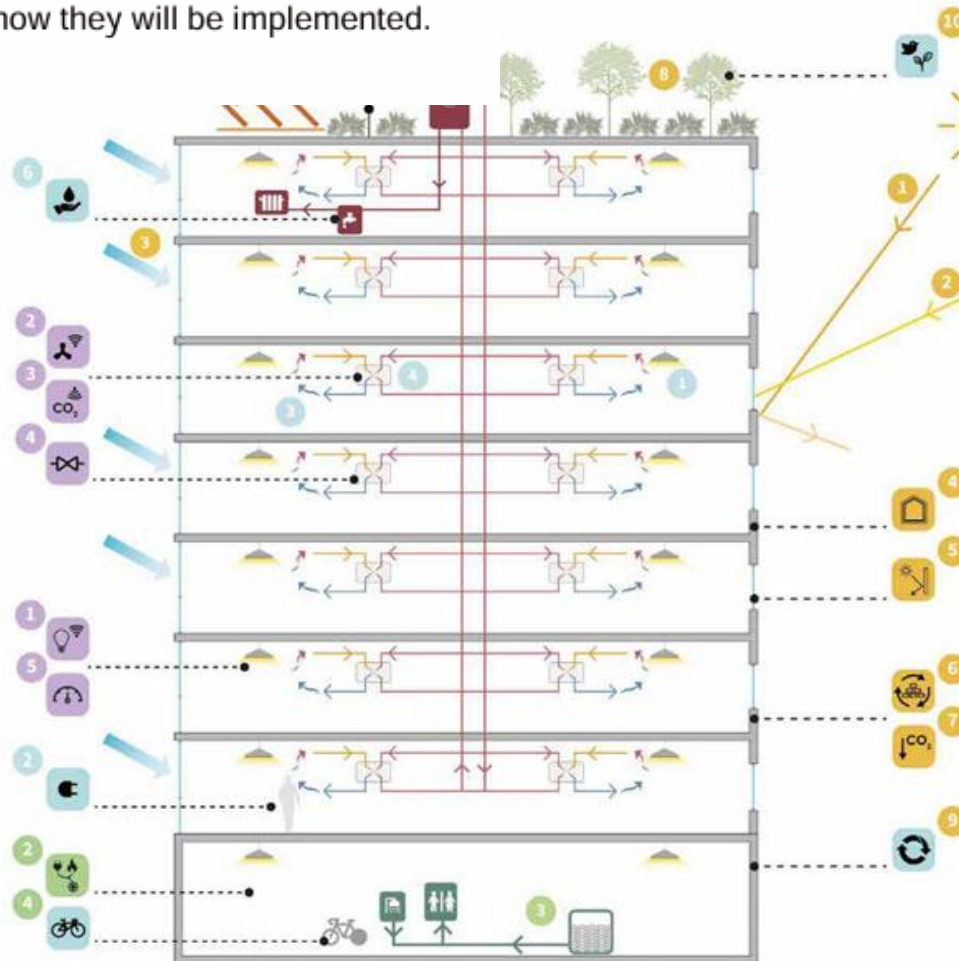
Conceptual section diagram illustrating the proposed sustainability strategies and how they will be implemented.

System Design Strategies

- 1 LED lighting
- 2 Reduce tenant small power consumption
- 3 Potential for mixed mode ventilation with heat recovery
- 4 On floor airflow supply with low SFPs
- 5 ASHP with heat recovery for heating & DHW
- 6 Efficient fittings to reduce water consumption

Smart Control Strategies

- 1 PIRs and daylight controls
- 2 Demand control airflow
- 3 CO₂ sensors
- 4 Flow controller - constant duct pressures
- 5 Smart metering
- 6 Local weather station controlled BMS system



Passive Design Strategies

- 1 Shading design for solar control
- 2 Passive solar heating
- 3 Maximise daylight from North
- 4 High thermal performance
- 5 High performance glazing
- 6 Recycling and re-use of materials
- 7 Responsibly sourced material of low embodied carbon
- 8 Drought tolerant vegetation minimising heat island effect
- 9 Reduce construction waste
- 10 Enhance biodiversity

Clean Energy Strategies

- 1 PV panels on roof
- 2 All electric system
- 3 Greywater recycling for toilets
- 3 Cycle storage & end-of-trip facilities

Sustainability

Sustainability Targets Table

The table compares the Kett House sustainability targets to those outlined in Cambridge Policy and other specified minimum standards.

Sustainability Targets

Environmental Ratings









- BREEAM Excellent
- WELL Gold enabled
- NABERS 4.5*
- WiredScore Platinum
- RICS 2

Building Services

- All electric systems
- Minimise water use by 55%
- Greywater recycling
- ASHPs with heat recovery
- All electric systems
- Photovoltaics
- Smart controls
- LED lighting with PIR and daylight controls
- Low specific fan powers

Materials

- High thermal performance
- High performance glazing
- Opportunities for reuse

	Cambridge Policy/Minimum Standards	Kett House Targets
 BREEAM	<ul style="list-style-type: none"> • BREEAM pre-assessment • Excellent 	<ul style="list-style-type: none"> • Excellent on V6.1
 Embodied Energy	<ul style="list-style-type: none"> • Circular economy principles based on UKGBC • Reuse material from demolition of existing building • Sustainable procurement plan and responsible resourcing (BREEAM Mat03) 	<ul style="list-style-type: none"> • Pre-demolition audit undertaken, re-use and recycling opportunities identified • Circular Economy GLA methodology • Conduct a Sustainable procurement plan and responsible sourcing (BREEAM Mat03) • RICs WLC Assessment A1-A5, <600 kgCO2/m2, LETI Good building design
 Operational Energy	<ul style="list-style-type: none"> • BREEAM Ene 01>4 credits 	<ul style="list-style-type: none"> • NABERS 4.5* • BREEAM Ene 01>4 credits
 Net Zero	<ul style="list-style-type: none"> • Integrate renewables and LZC technologies (BREEAM Ene04) 	<ul style="list-style-type: none"> • Integrate renewables and LZC technologies (BREEAM Ene04) • EPC A
 Biodiversity	<ul style="list-style-type: none"> • All development proposals should seek to conserve and enhance biodiversity 	<ul style="list-style-type: none"> • Minimum 20% Net Gain for biodiversity (BREEAM LE02-04) (Cambridge aspiration)
 Water Consumption	<ul style="list-style-type: none"> • 55% reduction in water consumption against baseline (BREEAM Wat01 5 credits) • Min. Part G 2010 requirements 	<ul style="list-style-type: none"> • >55% reduction in water consumption against baseline (BREEAM Wat01 5 credits) • Drought tolerant planting • Greywater recycling for toilets.
 Waste	<ul style="list-style-type: none"> • Reduce construction waste and conduct a Site Waste Management Plan (BREEAM Wst 01 RMP) 	<ul style="list-style-type: none"> • Conduct a Site Waste Management Plan (BREEAM Wst01 RMP) • Reduce construction waste to <6.5t/100m2 GIA (BREEAM Wst01 2 credits)
 Smart Buildings	<ul style="list-style-type: none"> • Integration of smart technologies 	<ul style="list-style-type: none"> • WiredScore Platinum

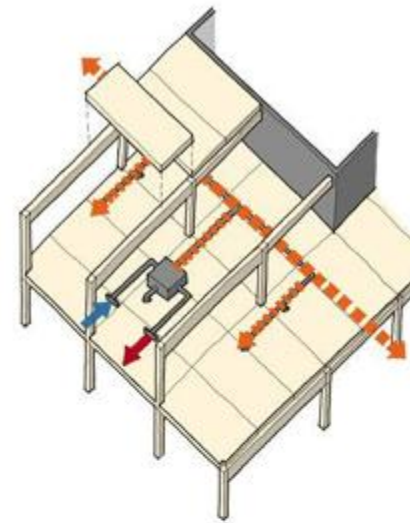
Sustainability

More with Less

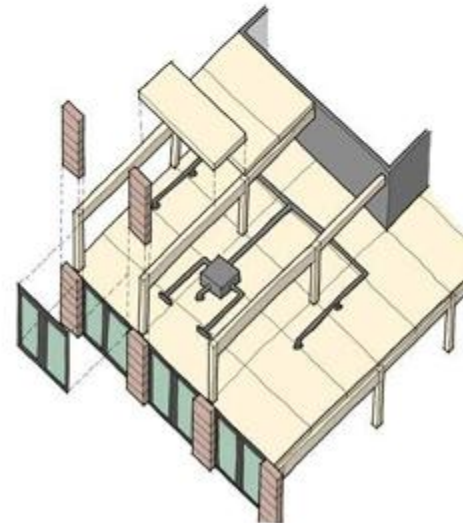
Several cutting edge and innovating design techniques, driven by a push to deliver a resource conscious and genuinely sustainable building are being incorporated into this scheme. Primarily these resolve around simplifying construction techniques and using better, lower carbon materials to significantly reduce both the embodied and operational carbon impact of the scheme. Additional ancillary benefits include reductions in construction waste, improved speed of construction, end of life demountability and reuse, and reduced site deliveries and logistics through construction.

A Hybrid steel and timber frame, mechanically fixed, with a jump form concrete core allows for a significant reduction in embodied carbon versus a traditional concrete slab and column construction. Additionally, the mechanically fixed nature of the superstructure allows for easy dismantling at end of life, if required. Further opportunities for material passporting will be explored in the next stages to enhance this process. The hybrid timber and steel structure, aside from offering a carbon reduction in the building superstructure, also offers a significant reduction in the size, and thereby embodied carbon within, the foundations.

Decentralised plant systems are being explored as a modern alternative to traditional roof based plant. There are significant benefits available in operational carbon, as well as embodied carbon savings through a significantly reduced reliance on fire dampers throughout the building. This simplifies the MEP systems throughout.



Services
Modular, decentralised MVHR units.



Glazing Units
Less stuff, less cost, less carbon.

is to

Materials and Detailing



Facade Bay Study (Smaller Block)
Sandstone Facade



Facade Bay Study (Taller Block)
Limestone Facade

Modelling

Massing options have been explored both digitally and physically with a series of models, offering the team and the planning officers the opportunity to review the scheme in context throughout the pre application process.

Process Model



Proposal in Context
Process Model

Kett Oak



Student Services Centre, University of Cambridge
A precedent of a maintained historic piece within a contemporary proposal



Kett Oak Sculpture
In its current location on the existing building facade.



Plan of proposed new sculpture location
Located in a recessed panel on the ground floor facade (highlighted in yellow on the above plan), fronting onto the public realm for maximum visibility and engagement.

Landscaping



Indicative Landscaping



Rain garden
Southern Pocket Park



Planter edges as seats
Kett Oak Gardens



Planter examples
Kett Oak Gardens



Public realm paving
Throughout proposed landscape design

Visualisations – Viewpoint 3



Visualisations – Viewpoint 4



Visualisations - Existing viewpoint 6



Visualisations – Viewpoint 6



Visualisations – Viewpoint 8



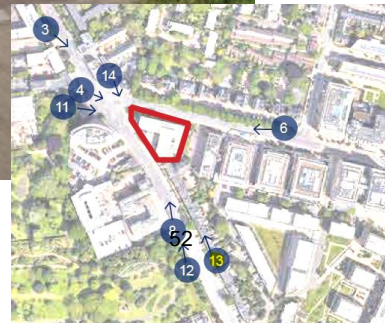
Visualisations – Viewpoint 10



Visualisations – Viewpoint 12



Visualisations – Viewpoint 13



Visualisations – Viewpoint 16



Planning Balance

Approval

Key material considerations

Regeneration of a brownfield site

High quality hybrid steel and CLT design

Public realm improvements

Meets high quality office need in key Central Business District location

Complete CB1 Station Road regeneration

Biodiversity net gain of more than 30%



Refusal

Key material considerations

Lower level of harm to setting of designated and non-designated heritage assets mainly through form and scale of building

Foul water capacity at Cambridge Water Recycling Centre

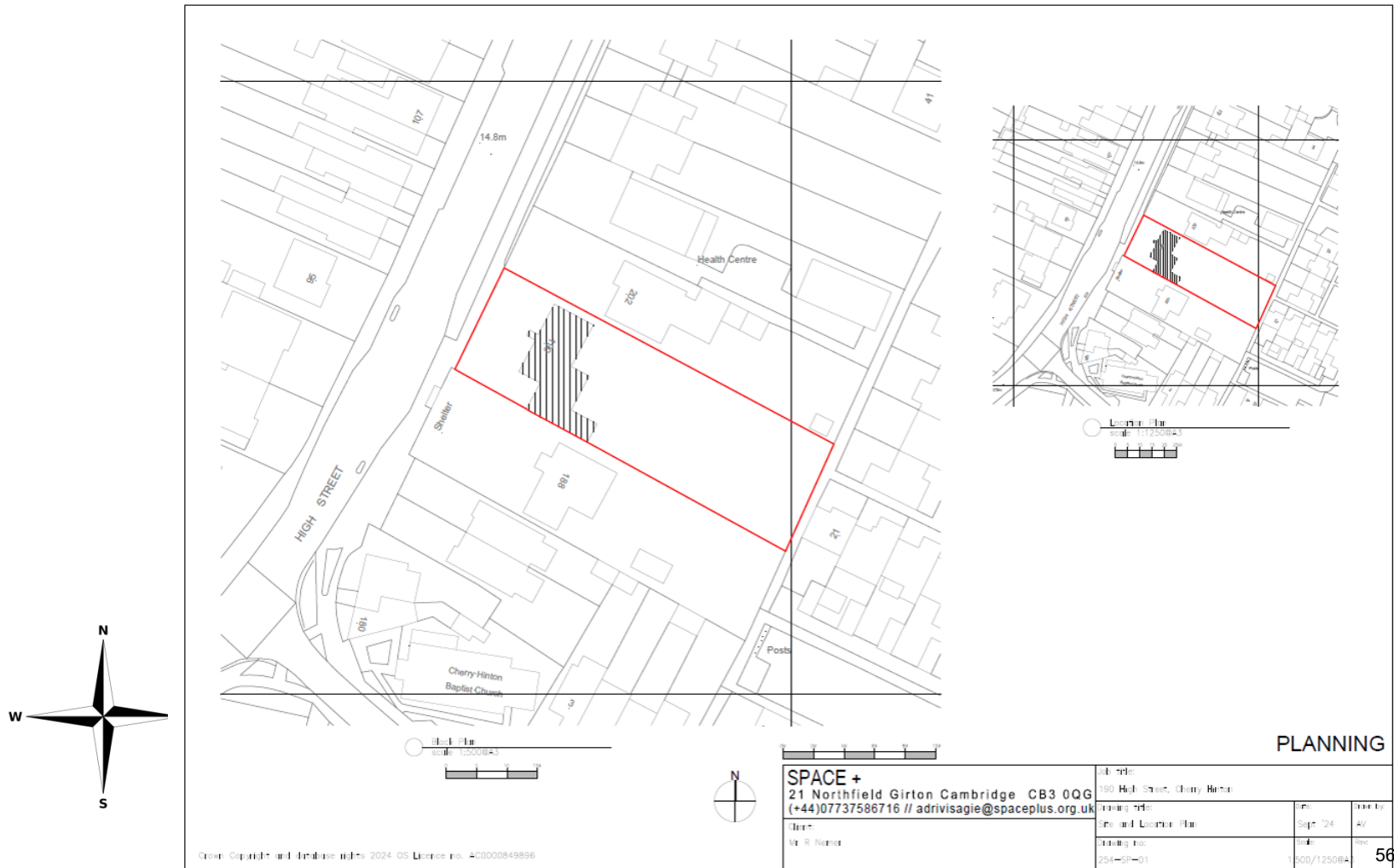
Officer Recommendation: Approve

MINOR APPLICATIONS

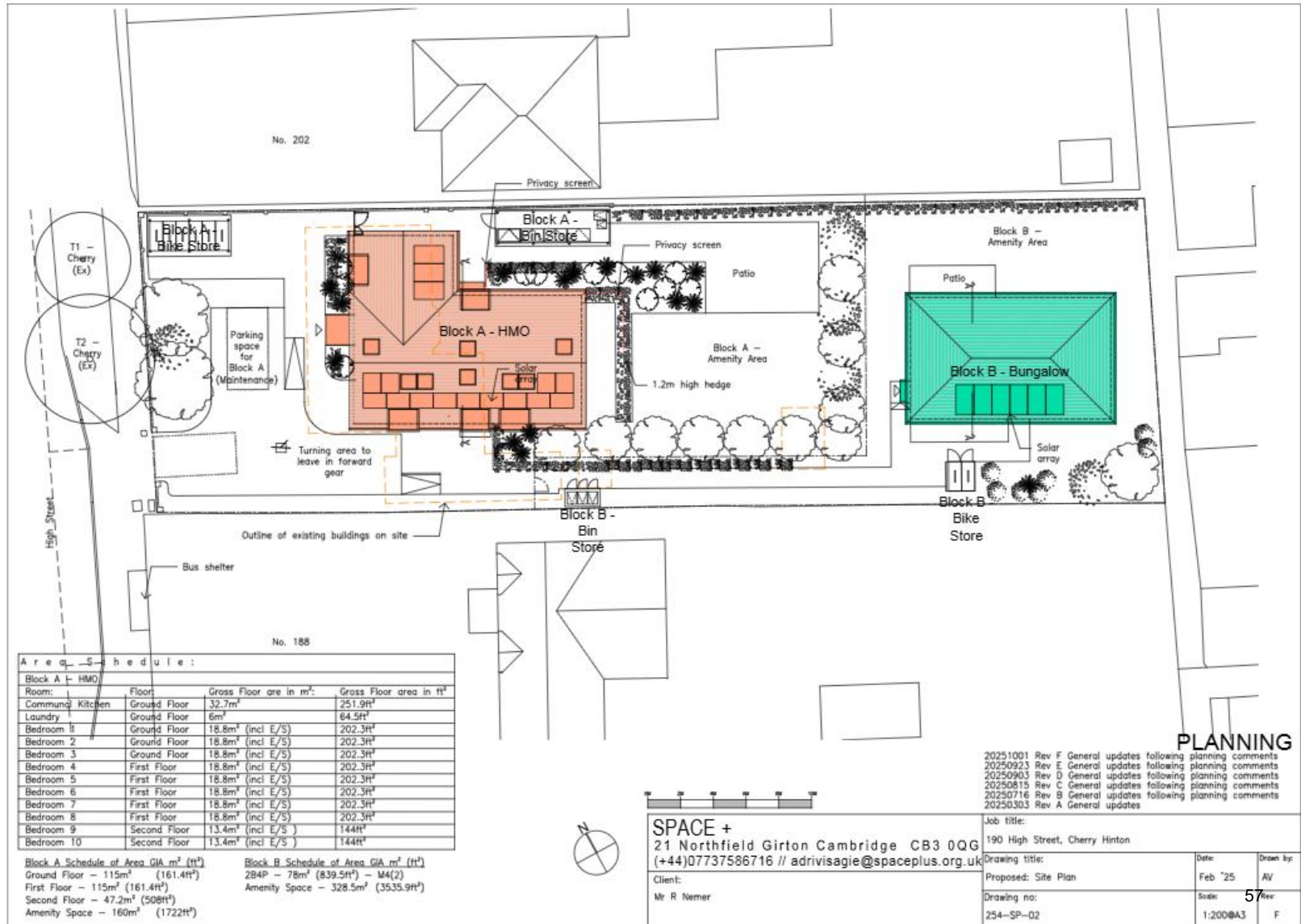
Ref no. 25/01321/FUL

190 High Street, Cherry Hinton

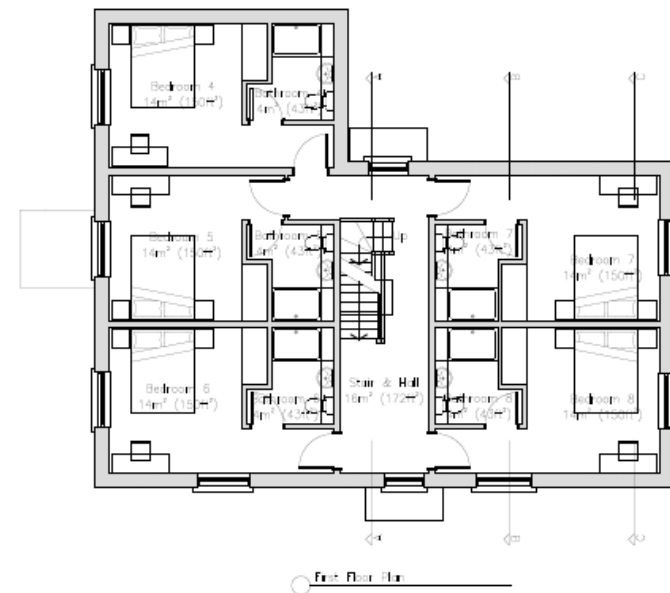
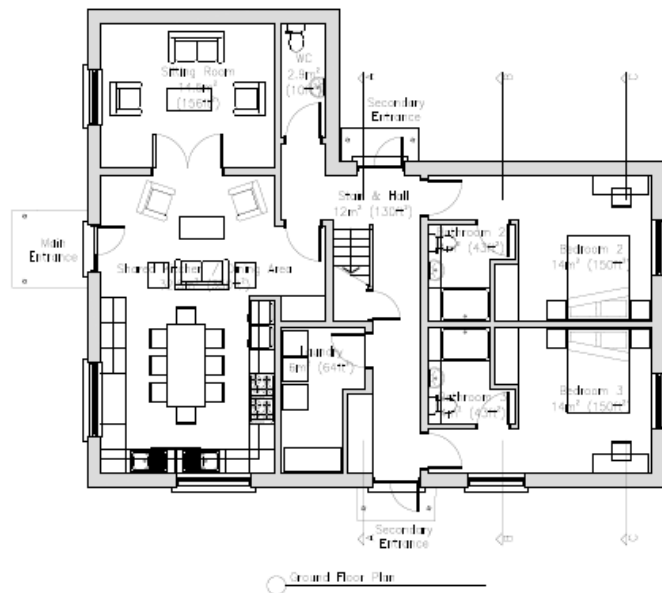
Site Location Plan



Site Plan - Proposed



Block A – Floor Plans

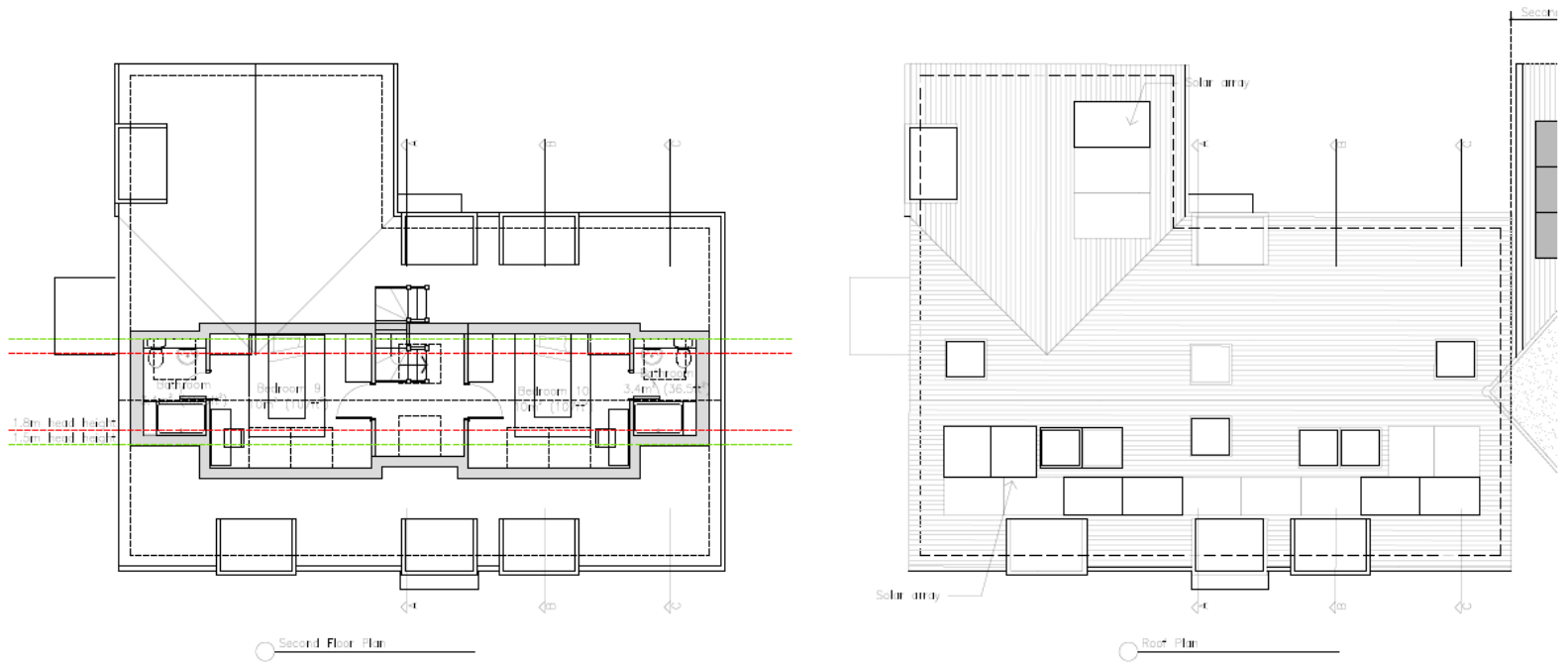


PLANNING

20251125 Rev. C Bedroom 1 removed and sitting room added
 following planning comments
 20250904 Rev. B General updates following planning comments
 20250815 Rev. A General updates following planning comments

SPACE + 21 Northfield Girton Cambridge CB3 0QG (+44)07737586716 // advisisagie@spaceplus.org.uk		Job title: 190 High Street, Cherry Hinton	
Client: Mr R. Nasser		Drawing title: Proposed Block A – Plans	Date: Feb 2025
		Drawing no: 254-SR-03	Scale: 1:100@A3
		Drawn by: AV	Check by: C

Block A – Floor Plans



PLANNING

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20251125 Rev B Section B-B & C-C added
 20250815 Rev A General updates following planning comments

Job title:
 190 High Street, Cherry Hinton

Drawing title:
 Proposed Block A - Plans

Drawing no:
 254-SP-04

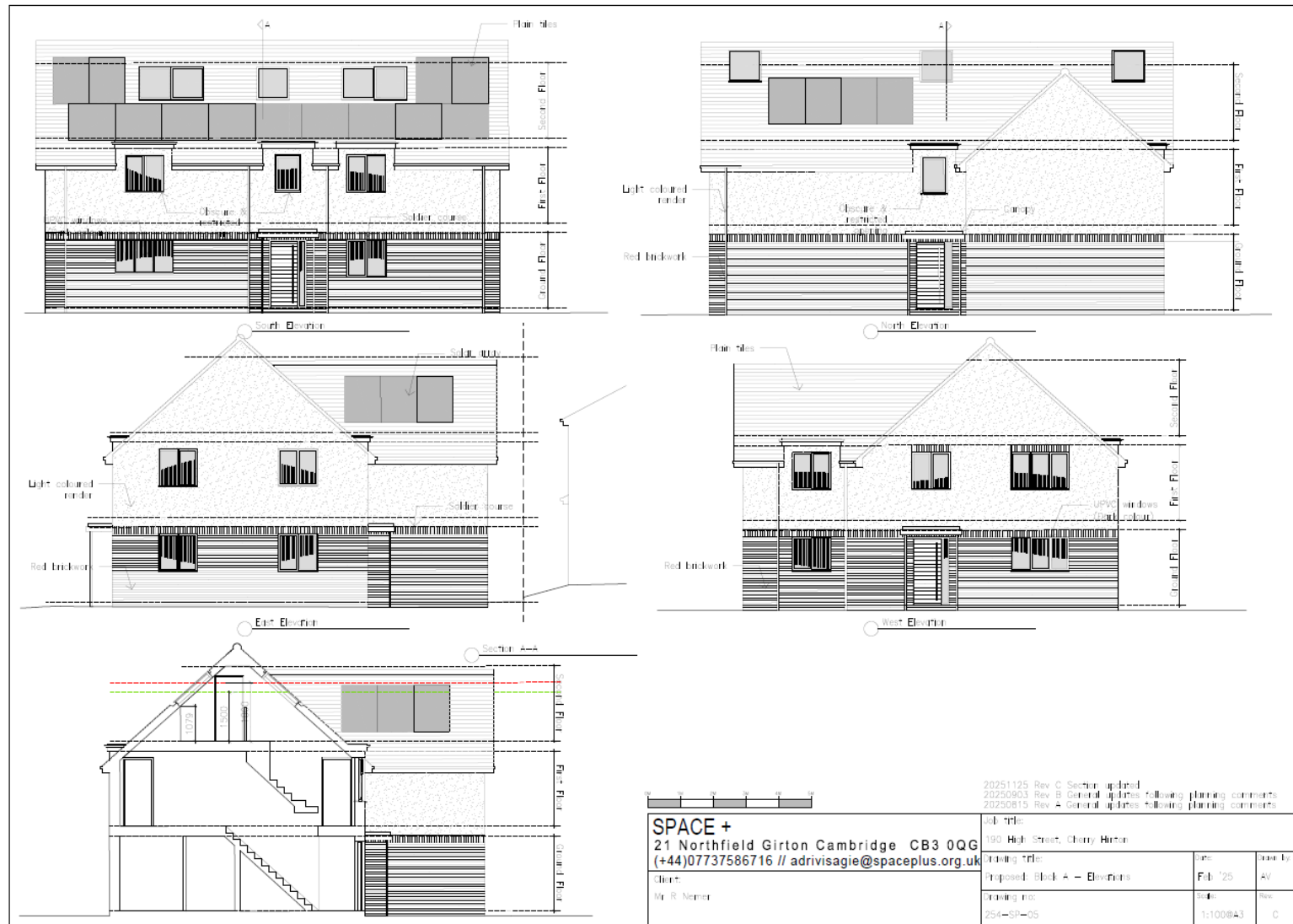
Date:
 15/05/25

Scale:
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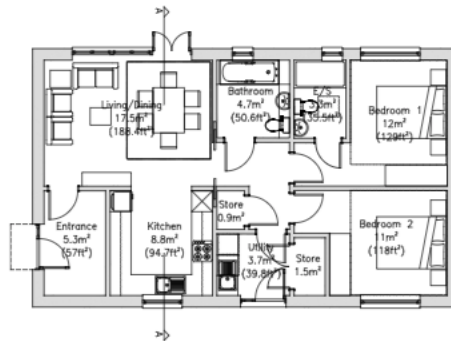
Drawn by:
 AV

Rev:
 B

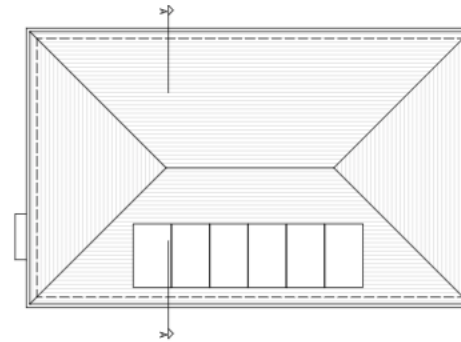
Block A – Elevations



Block B – Floor Plans



○ Ground Floor Plan



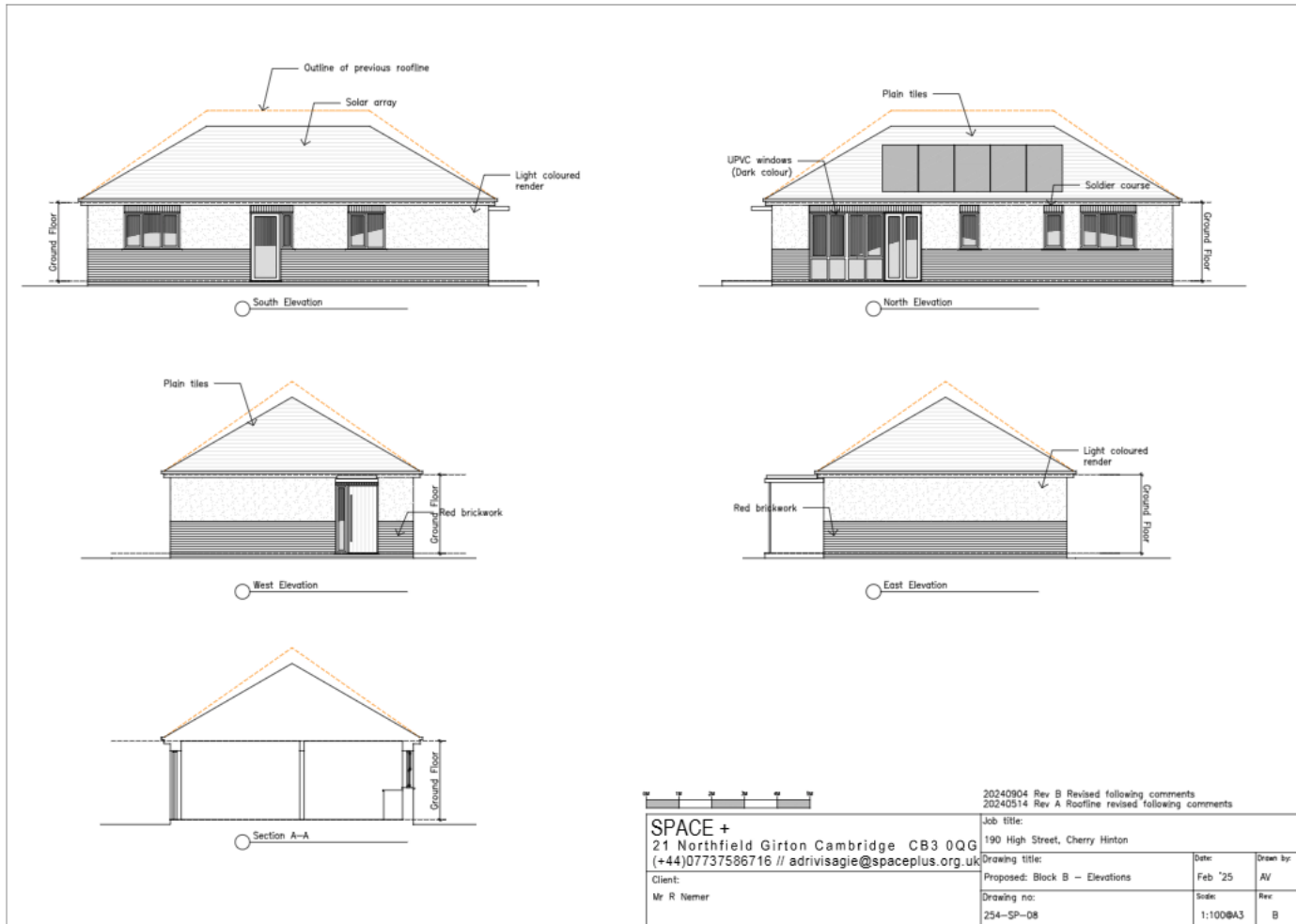
○ First Floor Plan



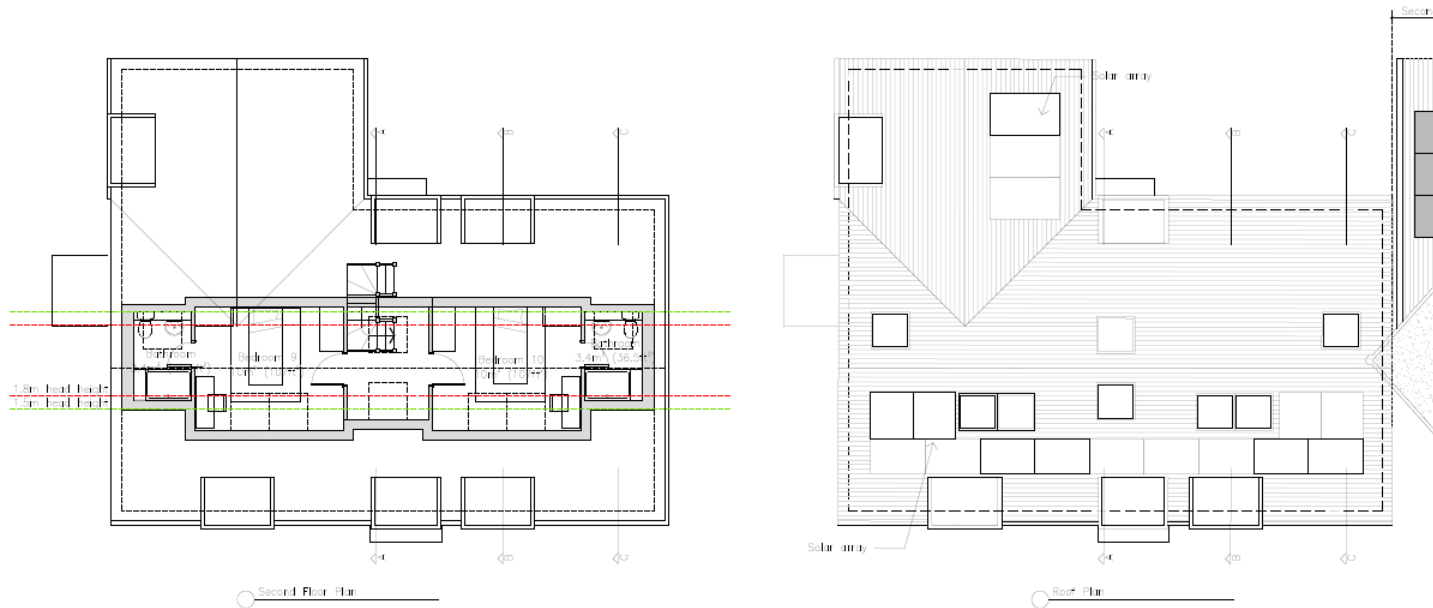
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(+44)07737586716 // advisagie@spaceplus.org.uk
Client:
Mr R Nemer

PLANNING			
20240904 Rev A Revised following comments			
Job title: 190 High Street, Cherry Hinton			
Drawing title: Proposed: Block B – Plans	Date: Feb '25	Drawn by: AV	
Drawing no: 254-SP-07	Scale: 1:100@A3	Rev: A	

Block B – Elevations



Block A – Floor Plans



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Client:
 Mr R. Noman

20251125 Rev B Section B-B & C-C added
 20250815 Rev A General updates following planning comments

Job title:
 190 High Street, Cherry Hinton

Modeling title:
 Proposed: Block A - Plans

Drawing no:
 Z54-SP-04

Date:
 Feb '25

Scale:
 1:100@A3

Planning Balance

Approval

Key material considerations

Residential accommodation (large HMO) and a two-bedroomed bungalow
Sustainable location.

Ecological enhancements to achieve statutory BNG via off-site credits and on-site provision can be conditioned.

Tree planting as part of the landscape scheme.



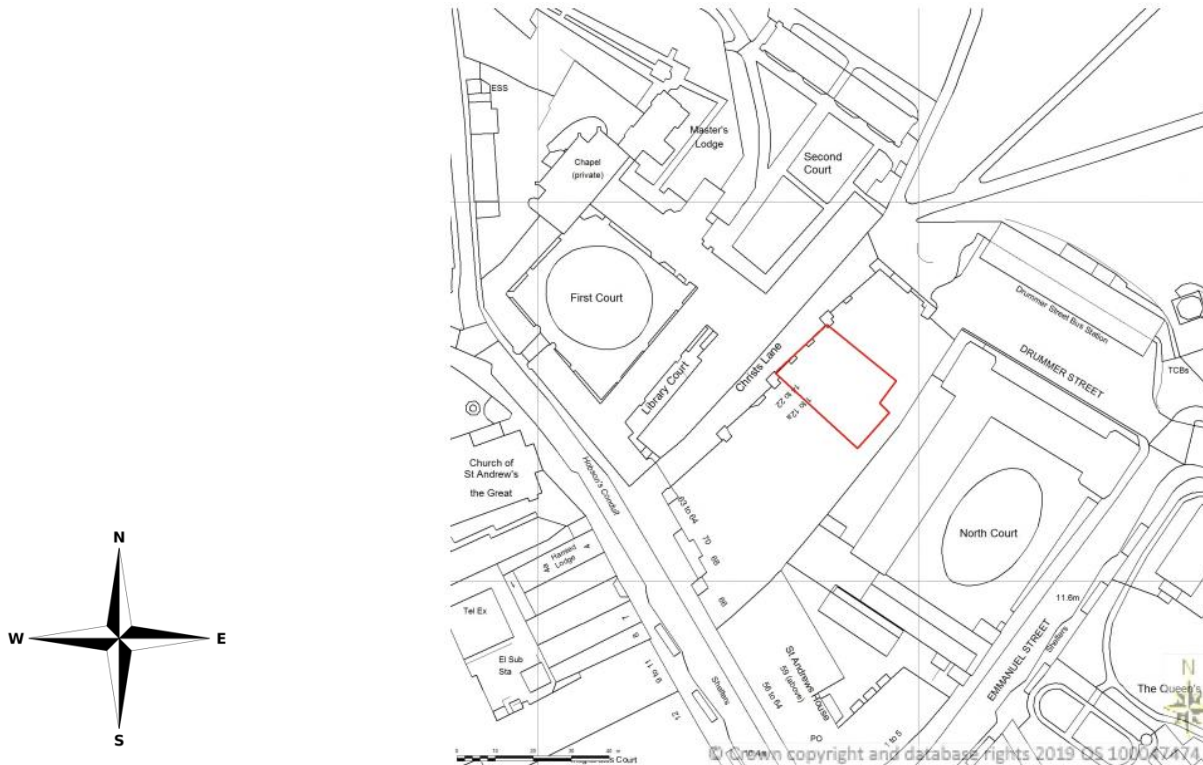
Refusal

Key material considerations

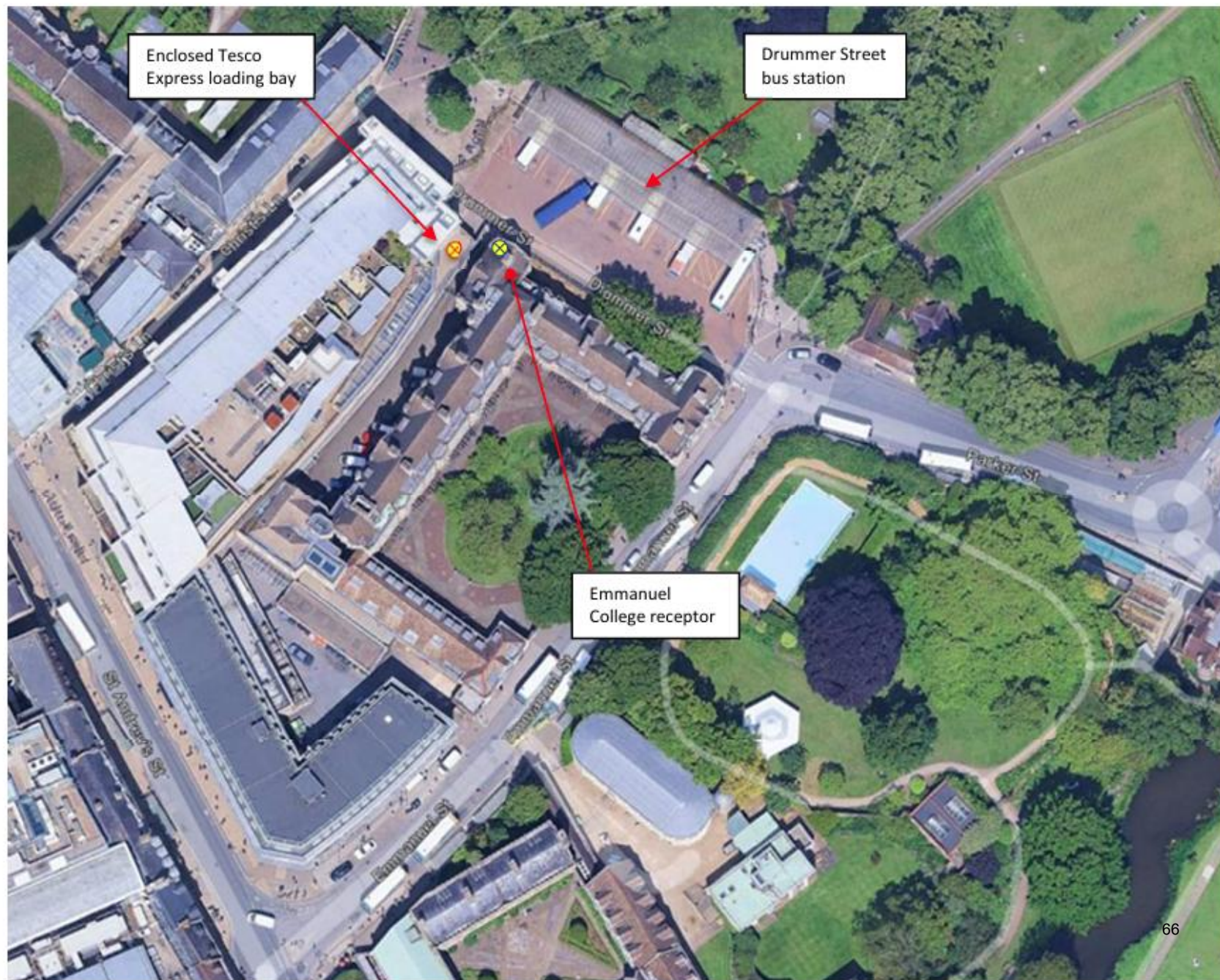
Increase prominence in street scene

Officer Recommendation: Approve

25/02660/S73
Units 5 and 6 Christs Lane
Cambridge CB1 1NP
Site Location Plan



Appendix A: Tesco Express, Christ's Lane, Cambridge site plan



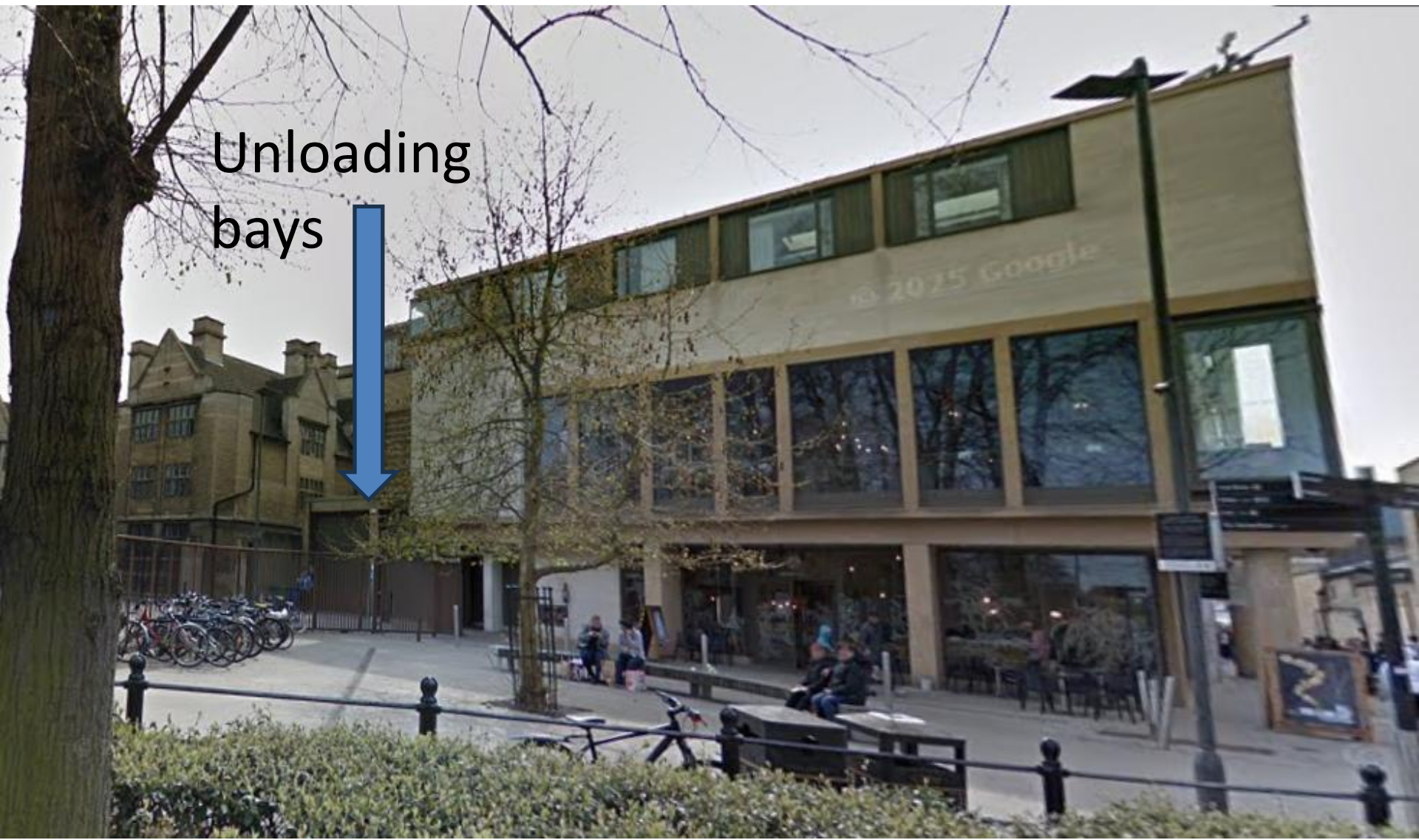


FIGURE 4: Delivery vehicle unloading position

